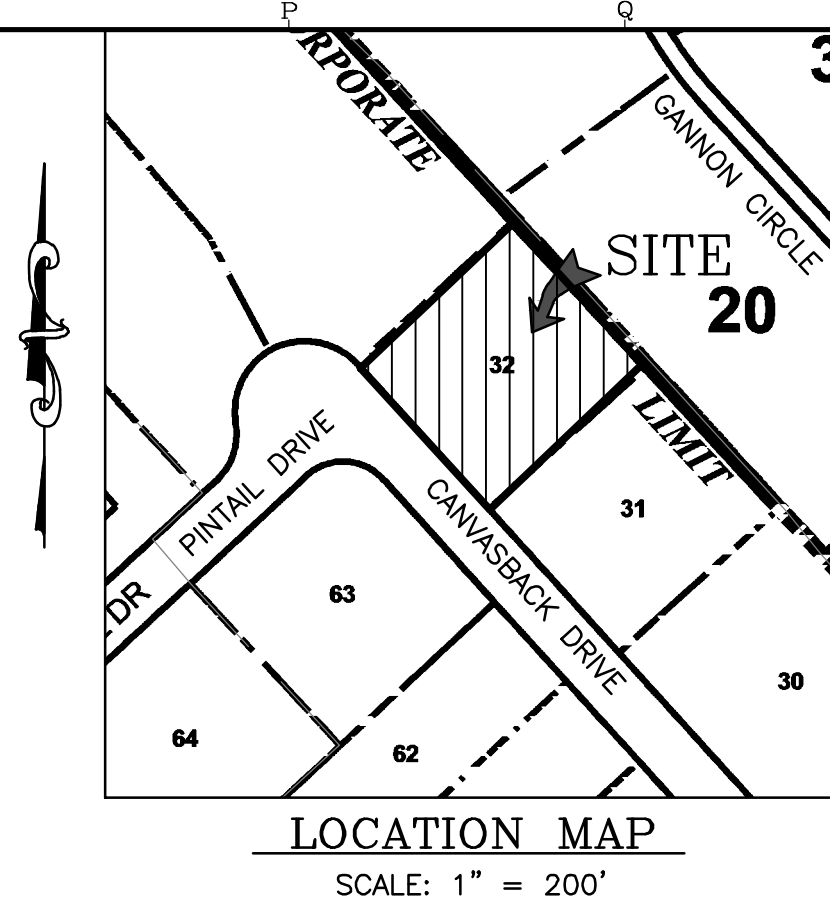
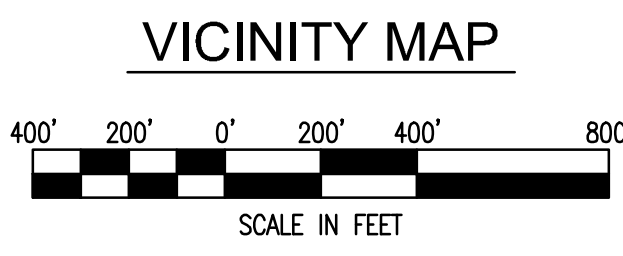
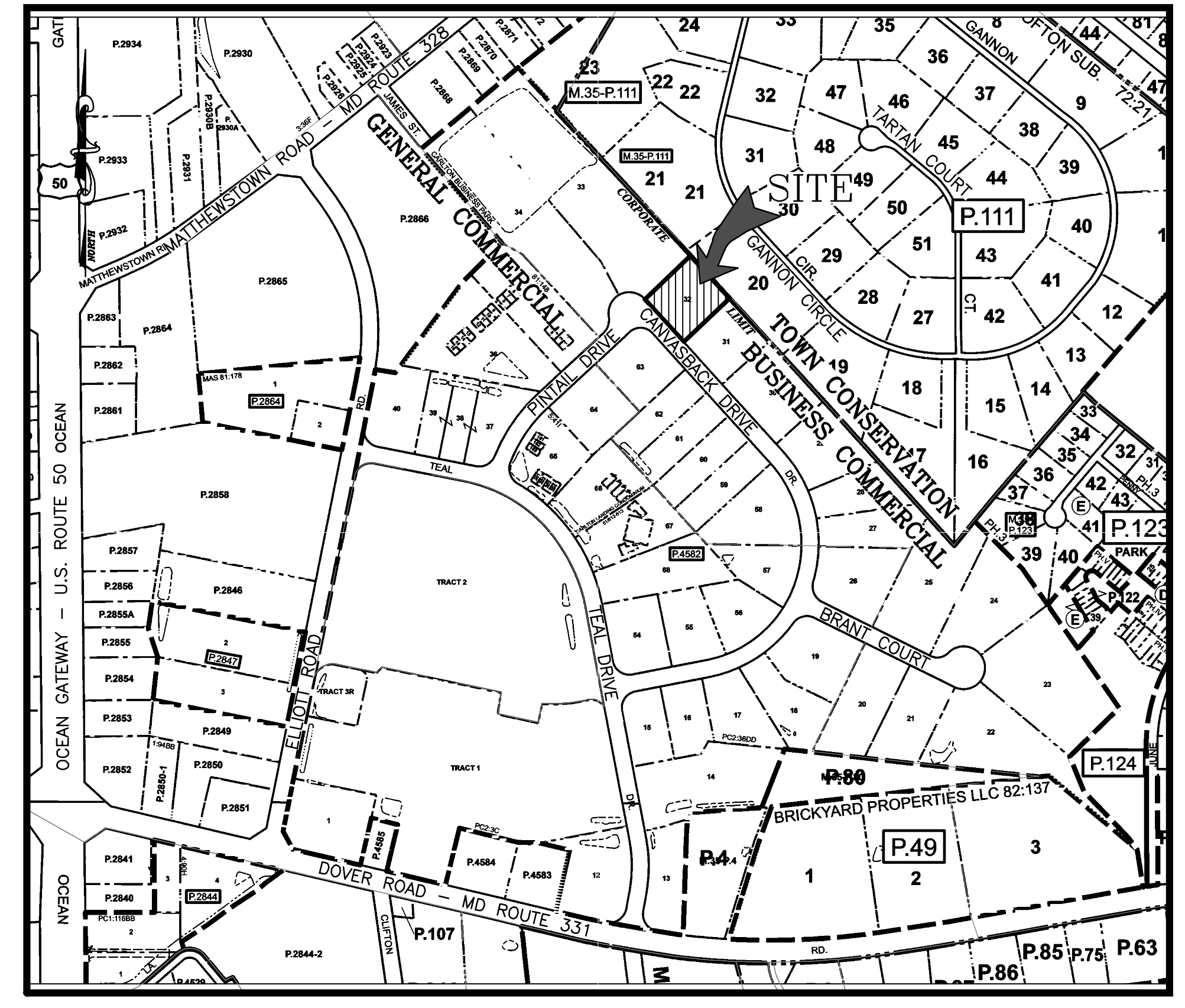


# SITE IMPROVEMENT PLANS FOR ST. VINCENT DE PAUL IN THE TOWN OF EASTON TALBOT COUNTY, MARYLAND




APPROVED:	TOWN OF EASTON - PLANNING & ZONING	DATE	
APPROVED:	TOWN OF EASTON - TOWN ENGINEER	DATE	
APPROVED:	EASTON UTILITIES - ENGINEER	DATE	
REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY



SHEET No.	TITLE
G-101	TITLE SHEET
G-102	PROJECT NOTES
G-103	LEGEND & ABBREVIATIONS
V-101	EXISTING CONDITIONS & DEMOLITION PLAN
C-101	SITE & UTILITY PLAN
C-102	SITE GRADING & SEDIMENT & EROSION CONTROL PLAN
C-103	DETAILED GRADING PLAN
C-201	STORM DRAIN PROFILES
C-501	SEDIMENT & EROSION CONTROL NOTES & DETAILS
C-501.1	SEDIMENT & EROSION CONTROL NOTES & DETAILS
C-502	STORMWATER MANAGEMENT DETAILS
C-503	SEWER & SITE DETAILS
C-503.1	SITE DETAILS
L-101	LANDSCAPE PLAN
L-102	STORMWATER PLANTING PLAN & PLANTING SPECIFICATIONS

REVIEWED FOR TALBOT SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

APPROVED:  DATE

TALBOT SOIL CONSERVATION DISTRICT DATE  
SHAWN D. SMITH

NOTE: THE TALBOT SOIL CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY, OR OTHERWISE ALTER THE SOIL EROSION AND SEDIMENT CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

DEVELOPERS CERTIFICATE

I HEREBY CERTIFY THAT ALL THE DEVELOPMENT AND/OR CONSTRUCTION SHALL BE DONE ACCORDING TO THIS PLAN OF EROSION AND SEDIMENT CONTROL.

SOCIETY OF ST. VINCENT DE PAUL DATE  
C/O MIKE KLEIN  
P.O. BOX 783  
EASTON, MD 21601  
(410) 375-4815

- ANY CLEARING, GRADING CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATIONS FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR THE SUBCONTRACTOR.
- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL BEFORE BEGINNING THE PROJECT.
- THE DEVELOPER WILL PROVIDE THE DISTRICT ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY REQUIRING A STATE POND PERMIT.

NOTICE OF INTENT (NOI) STATEMENT

THE FOLLOWING ITEMS HAVE BEEN ADDRESSED TO MEET THE REQUIREMENTS OF THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY (NPDES NUMBER MDR, STATE DISCHARGE PERMIT NUMBER 20 CP):

- UTILIZATION OF ENVIRONMENTAL SITE DESIGN
- MAINTENANCE OF LIMITS OF DISTURBANCE TO PROTECT NATURAL AREAS
- CONTROL OF CONSTRUCTION EQUIPMENT AND VEHICLES
- EVALUATION AND APPROPRIATE LIMITATION OF SITE CLEARING
- EVALUATION AND DESIGNATION OF SITE AREA FOR PHASING OR SEQUENCING
- IDENTIFICATION OF SOILS AT HIGH RISK FOR EROSION AND ADVANCED STABILIZATION TECHNIQUES TO BE USED
- IDENTIFICATION OF STEEP SLOPES AND DESIGNATION OF LIMITATIONS ON CLEARING THEM
- EVALUATION AND DESIGNATION OF STABILIZATION REQUIREMENTS AND TIME LIMITS AND PROTECTION MEASURES FOR DISCHARGES TO THE CHESAPEAKE BAY, IMPAIRED WATERS OR WATERS WITH AN ESTABLISHED TOTAL MAXIMUM DAILY LOAD (TMDL).

NOTE TO CONTRACTOR:  
EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.

**SITE ADDRESS**  
29533 CANVASBACK DRIVE  
EASTON, MD 21601

**OWNER/DEVELOPER**  
SOCIETY OF ST. VINCENT DE PAUL  
SAINTS PETER AND PAUL CONFERENCE INC  
C/O MIKE KLEIN  
P.O. BOX 783  
EASTON, MARYLAND 21601  
(410) 375-4815

**CIVIL ENGINEER**  
LANE ENGINEERING, LLC  
C/O JARRET J BEYER, P.E.  
117 BAY STREET  
EASTON, MD 21601  
(410) 822-8003

**ARCHITECT**  
PAMELA P. GARDNER, AIA, LLC  
C/O PAMELA P. GARDNER, AIA  
311 N. AURORA STREET  
P.O. BOX 97  
EASTON, MD 21601  
(410) 820-7973

**CONTRACTOR**  
TO BE DETERMINED

**UTILITY CONTACTS**  
**DRAINAGE/STORMWATER MANAGEMENT**  
TOWN OF EASTON  
14 S. HARRISON STREET  
EASTON, MD 21601  
(410) 820-8822

**ALL ELECTRIC, NATURAL GAS, WATER, CABLE, SANITARY SEWER**  
EASTON UTILITIES COMMISSION  
201 N. WASHINGTON STREET  
EASTON, MD 21601  
(410) 822-6110

**TELEPHONE**  
VERIZON  
1401 MOUNT HERMAN ROAD  
SALISBURY, MD 21804  
(410) 860-8029

**PERMITTING AGENCIES**

TOWN OF EASTON  
ENGINEERING DEPARTMENT  
14 S. HARRISON STREET  
EASTON, MD 21601  
(410) 820-8822

TALBOT COUNTY SOIL  
CONSERVATION DISTRICT  
28577 MARY'S COURT, SUITE 3  
EASTON, MD 21601  
(410) 822-1577

MD DEPARTMENT OF  
THE ENVIRONMENT  
MDE EASTERN REGION  
201 BAPTIST STREET, SUITE 22  
SALISBURY, MD 21801  
(410) 713-3682

**WARNING!!**

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY WORK ON-SITE. THE CONTRACTOR SHALL NOTIFY DEPT. OF PUBLIC WORKS OF ANY POSSIBLE CONFLICT AND REQUEST THE RELOCATION OF THE EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION EXPENSE.



**Lane Engineering, LLC**  
Established 1986  
Civil Engineers • Land Planning • Land Surveyors

117 Bay St. Easton, MD 21601 (410) 822-8003  
15 Washington St. Centerville, MD 21613 (410) 221-0818  
354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 48188, Expiration Date: 12/28/2023.



**TITLE SHEET**

FOR  
ST. VINCENT DE PAUL

IN THE TOWN OF EASTON  
TALBOT COUNTY, MARYLAND  
TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR:	DATE:	BY:
ESDR SUBMITTAL	08/01/23 BCE	
PLANNING COMMISSION	08/28/23 BCE	
SITE PLAN REVIEW	12/21/23 BCE	

SHEET No. <b>G-101</b>	JOB No. 230215
SCALE: <b>AS NOTED</b>	FILE No. 3248

Date: 12/21/2023 - 10:52am User: mrojicoh Project Manager: BCE  
 Drawing Path: J:\2023\230215\Civil\3D-230215\Draw\Title\Site Plans\GCS-PTS-230215.dwg | G-101  
 XREF File(s): CBS-BASE-2436-230215\RAR-BASE-230215\RLD-BASE-230215

Date: 12/21/2023 10:52am User: mrojcech Project Manager: BCE  
Drawing Path: J:\2023\2023-230215\Civil\3D-230215\Draw\Plans\Site Plans\GCS-PTS-230215.dwg | G-102  
XREF File(s): CBS-Base-2436--230215\RAR-Base-230215\RLD-Base-230215

### PROJECT DATA

PROPERTY: TAX MAP 109, TAX PARCEL 4582, LOT 32  
DEED: 2744/409  
PLAT: 1/19AA  
29533 CANVASBACK DRIVE  
EASTON, MARYLAND 21601  
OWNER: SOCIETY OF ST. VINCENT DE PAUL  
SAINTS PETER AND PAUL CONFERENCE INC  
C/O MIKE KLEIN  
P.O. BOX 783  
EASTON, MARYLAND 21601  
(410) 375-4815  
DEVELOPER: SOCIETY OF ST. VINCENT DE PAUL  
SAINTS PETER AND PAUL CONFERENCE INC  
C/O MIKE KLEIN  
P.O. BOX 783  
EASTON, MARYLAND 21601  
(410) 375-4815  
OWNER: BC (BUSINESS COMMERCIAL DISTRICT)  
SITE AREA: 1.07 ACRES±

BUILDING SETBACKS: FRONT - 40'  
SIDE - 10'  
REAR - 30'  
NTW - 25'

MINIMUM LOT SIZE: 40,000 SF

MAXIMUM BUILDING HEIGHT PERMITTED: 35'  
BUILDING HEIGHT PROPOSED: LESS THAN 35'

EXISTING CONDITIONS: THE SITE IS CURRENTLY IMPROVED WITH A ONE STORY METAL BUILDING AND SHED THAT SERVES THE COMMUNITY AS A FOOD PANTRY, THRIFT CENTER AND BOUTIQUE.

PROPOSED DEVELOPMENT: PROPOSED 2,160 SF BUILDING ADDITION ALONG WITH 400 SF OF WALK-IN FREEZER/REFRIGERATOR, PROPOSED PARKING LOT EXPANSION INCLUDING THE ADDITION OF 10 PARKING SPACES, DRIVE AISLE, AND ASSOCIATED IMPROVEMENTS. REMOVAL OF 3 EXISTING SPACES.

PARKING REQUIRED: COMMUNITY FOOD, EMERGENCY RELIEF, FAMILY, OR ELDERLY AND DISABLED SERVICES  
1 SPACE/250 GFA (5,000 SF) = 20 SPACES MINIMUM  
1 SPACE/200 GFA (5,000 SF) = 25 SPACES MAXIMUM  
WAREHOUSE  
1 SPACE/2000 GFA (4,400 SF) = 2 SPACES MINIMUM  
1 SPACE/350 GFA (4,400 SF) = 13 SPACES MAXIMUM  
TOTAL = 22 SPACES MINIMUM  
38 SPACES MAXIMUM

PARKING PROPOSED: 29 SPACES, INCLUDING 2 ADA VAN ACCESSIBLE SPACES

BICYCLE PARKING REQUIRED: COMMUNITY FOOD, EMERGENCY RELIEF, FAMILY, OR ELDERLY AND DISABLED SERVICES  
1 SPACE/20 VEHICLE SPACES = 2 SPACES REQUIRED

BICYCLE PARKING PROPOSED: 2 SPACES

STORMWATER MANAGEMENT: QUANTITY MANAGEMENT IS ADDRESSED BY AN EXISTING REGIONAL STORMWATER FACILITY. QUALITY MANAGEMENT IS PROVIDED ON SITE IN A MICRO-BIORETENTION FACILITY AND PLANTER BOXES.

FOREST CONSERVATION: PREVIOUSLY SATISFIED FOR THE ENTIRE SITE IN 2016 WITH A FEE-IN-LIEU.

REFUSE/TRASH: CONTAINED IN PROPOSED DUMPSTERS WITHIN GATED FENCE STRUCTURE ON NORTH SIDE OF SITE.

SITE LIGHTING: BUILDING MOUNTED ONLY.

PUBLIC SIDEWALKS: PROPOSED CONCRETE SIDEWALK ALONG CANVASBACK DRIVE AND ALONG PROPOSED BUILDING ADDITION.

PROJECT APPROVALS: SKETCH PLAN APPROVAL WAS OBTAINED ON SEPTEMBER 21, 2023.

### PROJECT NOTES

- PROPERTY BOUNDARY AND EXISTING CONDITIONS SURVEYED BY LANE ENGINEERING, LLC ON 07/19/2012 AND FIELD VERIFIED ON 06/24/2015. AS-BUILT IMPROVEMENTS WERE LOCATED ON 09/30/2016 AND WERE FIELD VERIFIED ALONG WITH ADDITIONAL TOPO DATA ON 11/09/2023.
- THE ELEVATIONS SHOWN HEREON ARE NAVD 1988 DATUM.
- THE COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM NAD83 (2011).
- THE SITE IS LOCATED ENTIRELY OUTSIDE OF THE CHESAPEAKE BAY CRITICAL AREA.
- THERE ARE NO KNOWN HISTORIC STRUCTURES OR ARCHEOLOGICALLY SIGNIFICANT RESOURCES, STREAMS, TIDAL WETLANDS OR KNOWN HABITAT PROTECTION AREAS IN PROXIMITY TO THE PROPOSED SITE IMPROVEMENTS.
- NO NON-TIDAL WETLANDS WERE PRESENT ON SITE BASED ON OBSERVATIONS IN THE FIELD BY SEAN CALLAHAN, QUALIFIED PROFESSIONAL WITH LANE ENGINEERING, LLC AND CHRIS PAJAK, MARYLAND DEPARTMENT OF THE ENVIRONMENT VIA SITE VISIT ON 10/25/21.
- THE TREE LINE SHOWN HEREON WAS TAKEN FROM THE 2019 TALBOT COUNTY AERIALS AND IS APPROXIMATE ONLY.
- THE CONTOURS SHOWN HEREON WERE TAKEN FROM EXISTING CONDITIONS SURVEY CONDUCTED ON 07/19/2022. AS-BUILT SURVEY DATA ON 09/20/2016, AND FIELD RUN TOPO DATA COLLECTED ON 11/09/2023.
- PUBLIC WATER AND SEWER SERVICES ARE PROVIDED BY THE TOWN OF EASTON.

### FLOOD DATA

THE PROPERTY SHOWN HEREON IS NOT LOCATED IN THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE PROPERTY IS MAPPED IN THE X FLOOD ZONE AS SHOWN ON THE FEDERAL INSURANCE RATE MAPS FOR COMMUNITY NO. 240067, MAP NO. 24041C0193C FOR TOWN OF EASTON, MARYLAND. THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SFHA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. THE SFHA INCLUDES ZONES A, AE, AH, AO, AR, A99, V & VE. THE BASE FLOOD ELEVATION (BFE) IS THE WATER SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD. FLOOD INSURANCE MAY BE REQUIRED FOR STRUCTURES LOCATED IN THE SPECIAL FLOOD HAZARD AREA.

FLOOD ZONE LEGEND  
ZONE X - AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD

THE FLOOD DATA SHOWN HEREON IS BASED ON AVAILABLE MAPPED AND/OR DIGITAL INFORMATION AND IS DEPICTED AS DIRECTED AND REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS. IT IS SUBJECT TO DATA INACCURACIES AND REGULATORY CHANGE AND SHOULD BE VERIFIED PRIOR TO FINALIZING DEVELOPMENT OR IMPROVEMENT PLANS FOR THE SUBJECT LANDS.

### GENERAL NOTES

- THESE GENERAL NOTES, AS WELL AS THE FOLLOWING SYSTEM-SPECIFIC NOTES, ARE A SUPPLEMENT TO THE "STANDARD DETAILS FOR PUBLIC WORKS AND UTILITY CONSTRUCTION IN THE TOWN OF EASTON" (STANDARD DETAILS). IF THERE ARE CONTRADICTIONS BETWEEN THESE NOTES AND THE "STANDARD DETAILS" THE LATTER SHALL GOVERN. THESE NOTES ARE NOT INTENDED TO COVER ALL ASPECTS OF CONSTRUCTION. THEY ONLY DOCUMENT THE MOST COMMONLY USED SPECIFICATIONS OF THE TOWN OF EASTON, EASTON UTILITIES AND OTHER AGENCIES THAT MAY HAVE AUTHORITY OVER VARIOUS ASPECTS OF THIS PROJECT.
  - THESE DRAWINGS SHOW INFORMATION FROM THE BEST AVAILABLE RECORDS REGARDING PIPES, CONDUITS, TELEPHONE LINES, AND OTHER STRUCTURES AND CONDITIONS, WHICH EXIST ALONG THE LINE OF WORK, BOTH AT AND BELOW THE SURFACE OF THE GROUND. THE OWNER AND THE ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION WHICH IS SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR, WHO MUST VERIFY THE INFORMATION GIVEN TO HIS OWN SATISFACTION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE CONTRACTOR SHALL SUPPORT AND PROTECT ALL PIPES, CONDUITS, UTILITY LINES AND OTHER STRUCTURES. SHOULD ANY DAMAGE OCCUR TO UTILITIES, IT SHALL BE REPAIRED SOLELY BY THE CONTRACTOR'S EXPENSE.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION AND TESTING SHALL CONFORM TO THE APPROVED DRAWINGS, SPECIFICATIONS, LOCAL BUILDING CODES, AND THE "TOWN OF EASTON & EASTON UTILITIES CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR WATER, SEWER AND STREETS" ISSUED APRIL 12, 2011 (STANDARDS AND SPECIFICATIONS). THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING IMPROVEMENTS PER THE LATEST EDITED VERSIONS OF THE STANDARD DETAILS, STANDARDS AND SPECIFICATIONS AND APPROVED DRAWINGS AT THE TIME OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING AND SHALL COORDINATE ALL CONSTRUCTION PHASES WITH THEM:  
  
MARYLAND DEPARTMENT OF THE ENVIRONMENT (410) 901-4020  
TALBOT COUNTY SOIL CONSERVATION DISTRICT (410) 822-1577  
TOWN OF EASTON ENGINEERING DEPARTMENT (410) 820-8822  
EASTON UTILITIES COMMISSION (410) 820-8110  
LANE ENGINEERING, LLC (410) 822-8003
  - THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS.
  - THE OWNER IS RESPONSIBLE FOR THE ACQUISITION AND DEDICATION OF ALL EASEMENTS, BOTH TEMPORARY AND PERMANENT.
  - IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
  - ALL CONCRETE USED FOR SIDEWALKS SHALL BE SHA MIX NO. 3, AIR ENTRAINED, AND SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE USED FOR CURB AND GUTTER IN PUBLIC RIGHTS-OF-WAY SHALL BE SHA MIX NO. 7, EXCEPT WITH MAXIMUM WATER-CEMENT RATIO OF 0.45 AND MINIMUM 611 POUNDS CEMENT FACTOR, AIR ENTRAINED, AND SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4200 PSI. CONCRETE USED FOR CURB AND GUTTER ON PRIVATE PROPERTY MAY BE EITHER SHA MIX NO. 3 OR NO. 7 AS DESCRIBED ABOVE. ALL CONCRETE SHALL BE MANUFACTURED AND DELIVERED BY STATE CERTIFIED MANUFACTURERS. ALL CONCRETE SHALL BE HANDLED AND PLACED ACCORDING TO ACI STANDARDS. THE CONTRACTOR SHALL NOTIFY THE TOWN OF EASTON ENGINEERING DEPARTMENT, AT (410) 820-8822, 24 HOURS PRIOR TO PLACING CONCRETE IN A TOWN RIGHT-OF-WAY. REFER TO STANDARD TOE-R-7.09 FOR SUBMITTAL, TESTING AND PLACEMENT REQUIREMENTS.
  - TRENCHES SHALL NOT REMAIN OPEN OVERNIGHT.
  - SHOP DRAWINGS FOR ALL MATERIALS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL.
  - ALL PVC PIPE, MAINS AND LATERALS, SHALL HAVE A MINIMUM COVER OF 42" UNLESS OTHERWISE NOTED IN THE STANDARD DETAILS.
  - ALL APPROVALS OF UTILITY SYSTEMS SHALL BE GRANTED BY THE TOWN ENGINEER OR HIS/HER REPRESENTATIVE.
  - PRIOR TO ISSUANCE OF A TEMPORARY OR FINAL OCCUPANCY PERMIT, THE TOWN OF EASTON REQUIRES A SET OF AS-BUILT SITE DRAWINGS AND AN AS-BUILT CERTIFICATION BY THE DESIGN ENGINEER. THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER A RED-LINED SET OF SITE PLANS SHOWING THE FOLLOWING SITE IMPROVEMENT INSTALLATION INFORMATION:  
    - WATER, SEWER, GAS, ELECTRIC, CABLE, PHONE AND UTILITY SERVICE MAINS, LATERALS, DUCTS, METERS, VALVES, BACKFLOW PREVENTERS AND OTHER SITE PLUMBING AND DUCT SIZE AND LOCATION
    - STORM DRAIN SIZE AND LOCATION
    - STORMWATER MANAGEMENT FEATURE INSTALLATION; MEDIA DEPTH, UNDERDRAIN AND OBSERVATION WELL SIZE AND LOCATION
    - SITE LIGHTING ELECTRIC OR OTHER SITE ELECTRIC WIRING AND DUCTS
    - SITE IRRIGATION MAIN PIPING SIZE AND LOCATION
- AT PROJECT COMPLETION, THE DESIGN ENGINEER SHALL COMPLETE AN AS-BUILT SURVEY OF THE SITE TO CONFIRM LAYOUT AND GRADING COMPLIANCE INCLUDING SPECIFIC DETAILED COMPLIANCE REVIEW OF:
- STORMWATER MANAGEMENT FEATURES
  - SEWER SYSTEM INVERTS
  - STORM DRAIN INVERTS
  - ADA ACCESSIBLE ROUTE, ACCESS, PARKING AND SIGNAGE INSTALLATION
  - SITE LANDSCAPE COMPLIANCE
  - SITE LIGHTING POST/MOUNTING HEIGHTS
- THE CONTRACTOR SHALL MAINTAIN COMMUNICATION WITH THE DESIGN ENGINEER TO SCHEDULE AS-BUILT CERTIFICATION AND SURVEY WORK WITH AT LEAST THREE WEEKS ADVANCE NOTICE PRIOR TO THE ISSUANCE OF A USE AND OCCUPANCY PERMIT AND SHALL COMMUNICATE GENERAL PROJECT SCHEDULES WITH THE ENGINEER TO FACILITATE REVIEW OF UNDERGROUND INSTALLATIONS.
- THESE SHALL NOT BE ANY PIPE OR DUCT BACK-FILLED UNTIL INSPECTED AND APPROVED BY EASTON UTILITIES AND/OR THE TOWN ENGINEER OR BY THEIR AUTHORIZED REPRESENTATIVES.
  - CONTRACTOR SHALL COORDINATE WITH THE TOWN OF EASTON FOR ALL REQUIRED INFRASTRUCTURE INSPECTIONS PRIOR TO CONTINUING WORK. ALL WORK MUST BE INSPECTED AND APPROVED PRIOR TO CONTINUING CONSTRUCTION. ADDITIONAL TESTING OF ANY UTILITY OR INFRASTRUCTURE IMPROVEMENT MAY BE ORDERED WHEN DEEMED NECESSARY BY EASTON UTILITIES OR THE TOWN ENGINEER.
  - ALL SOILS IN THE RIGHT OF WAYS AND STRUCTURAL FILL AREAS SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D-1557 OR ASTM D-2922.
  - PROVIDE LIFT HOOPS IN UNEXPOSED SURFACES TO ACCOMMODATE FIELD PLACEMENT OF VAULTS AND MANHOLES.
  - ALL CONSTRUCTION ON OR OFF-SITE SHALL BE MARKED FOR TRAFFIC AND PEDESTRIAN SAFETY. ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE TOWN OF EASTON PRIOR TO USE.
  - CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT EXISTING PROPERTY CORNERS AND OTHER PROPERTY MONUMENTS. ANY DAMAGE TO, OR SHIFTING OF PROPERTY MARKERS WILL REQUIRE THEM TO BE REPLACED AT THE CONTRACTORS EXPENSE AND BY A MARYLAND LICENSED SURVEYOR.
  - CONTRACTOR SHALL COORDINATE WITH UTILITY SERVICE PROVIDERS FOR INSTALLATION OF ALL ELECTRIC, PHONE, CATV, GAS AND OTHER UTILITY SYSTEMS.
  - CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL SAFETY RELATED ISSUES ON SITE AS REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS AS WELL AS BY PRUDENT SITE MANAGEMENT PROTOCOL.
  - CONTRACTOR SHALL TAKE CARE TO WORK ONLY WITHIN THE CONSTRUCTION LIMITS OF DISTURBANCE. PROPERTY LINES AND EASEMENT AREAS. ANY ACCIDENTAL OR UNAUTHORIZED DISTURBANCE TO OFF-SITE IMPROVEMENTS OR PROPERTIES SHALL BE REPAIRED/REPLACED SOLELY AT CONTRACTOR'S EXPENSE.
  - ANY OFF-SITE CONSTRUCTION SHALL BE COORDINATED THROUGH THE TOWN OF EASTON PRIOR TO STARTING WORK.
  - CONTRACTOR SHALL COORDINATE WITH EASTON UTILITIES, THE TOWN OF EASTON AND THE ENGINEER FOR SITE INSPECTION OF ALL IMPROVEMENTS CONSTRUCTED. ALL IMPROVEMENTS MUST BE CERTIFIED AS REQUIRED BY THE TOWN OF EASTON CODE.
  - NO UNAUTHORIZED PERMANENT IMPROVEMENTS ARE PERMITTED IN ANY UTILITY EASEMENT.
  - ANY AND ALL CONSTRUCTION OF HANDICAP FACILITIES SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS, STANDARD DETAILS AND WITH THE CODE OF FEDERAL REGULATIONS-28CFR PART 36-ADA STANDARDS FOR ACCESSIBLE DESIGN-LATEST EDITION. CONTRACTOR IS STRONGLY ENCOURAGED TO CONTACT THE LOCAL APPROVAL AUTHORITY, PRIOR TO CONSTRUCTION, FOR ACCEPTABLE CONSTRUCTION TOLERANCES ASSOCIATED WITH ALL HANDICAP FACILITIES. 28CFR PART 36 DOES NOT PROVIDE SPECIFIC CONSTRUCTION TOLERANCES PERTAINING TO CONSTRUCTED FACILITY APPROVAL. LANE ENGINEERING, LLC ACCEPTS NO RESPONSIBILITY FOR FACILITIES AS CONSTRUCTED.
  - CONTRACTOR SHALL NOT COMMENCE ANY PORTION OF THE WORK WITHOUT VERIFYING AND RECEIVING COPIES OF ALL REQUIRED PERMITS FROM THE TOWN OF EASTON OR THE ENGINEER. PROJECT SPECIFIC APPROVALS AND PERMITS AS REQUIRED FOR CONSTRUCTION SHALL BE OBTAINED BY THE OWNER. APPROVALS MAY INCLUDE SOIL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT. PERMITS MAY INCLUDE BUILDING PERMIT AND GRADING PERMIT. CONTRACTOR SHALL NOT COMMENCE ANY PORTION OF THE WORK WITHOUT VERIFYING AND RECEIVING COPIES OF ALL REQUIRED APPROVALS AND PERMITS FROM THE TOWN OF EASTON OR THE ENGINEER.

### SANITARY SEWER SYSTEMS

- ALL 4" GRAVITY SEWER SHALL BE SCH 40 SOLID CORE PVC, ASTM 1785 AND 2665. IF COVER IS LESS THAN 42", ALL PIPE, MAINS AND LATERALS, SHALL BE CLASS 50 DUCTILE IRON.
- ALL LATERALS SHALL BE LAID AT A MINIMUM OF 2% SLOPE UNLESS OTHERWISE APPROVED.
- SEWER CLEANOUTS ARE REQUIRED AT PROPERTY LINE AND WITHIN 5' OF BUILDING FOUNDATION. IF LATERAL IS GREATER THAN 75' OR THERE IS A CHANGE IN DIRECTION, ADDITIONAL CLEANOUTS ARE REQUIRED.

### STORM DRAIN SYSTEMS

- PIPE SHALL BE EITHER RCP CL-IV OR DUAL WALL CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE WITH SMOOTH INTERIOR AS NOTED. INSTALLATION OF POLYETHYLENE PIPE SHALL BE IN ACCORDANCE WITH STANDARD DETAIL TOE-R-5.01-1 AND APPROVED MANUFACTURER INSTALLATION PROCEDURES, WHICHEVER IS MORE STRINGENT.
- CONNECTION OF POLYETHYLENE PIPE TO INLETS AND MANHOLES SHALL BE MADE WITH WATER-TIGHT FITTINGS PER SECTION 2.02.04 OF THE TOWN OF EASTON STANDARDS. MODIFY CONCRETE WALL THICKNESS AS NECESSARY TO ACCOUNT FOR PIPES ENTERING THE JOINT SYSTEM ON AN ANGLE.
- ALL DRAINAGE STRUCTURES AND TRENCHES SHALL REMAIN FUNCTIONAL DURING CONSTRUCTION.
- ALL ADJUSTMENTS TO INLETS, RINGS, TOPS MADE WITH BRICK SHALL STRICTLY COMPLY WITH SPECIFICATION SECTION 2 OF THE TOWN OF EASTON STANDARDS.

### SOIL EROSION AND SEDIMENT CONTROL

- ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE 2011 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL OR THE MOST RECENT EDITION, ISSUED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE MEASURES REQUIRED IN THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL APPLY AS SHOWN ON THIS PLAN, AND BE COMPLETE AND IN SERVICE IN ACCORDANCE WITH THE APPROVED SEQUENCE OF CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROMOTE POSITIVE DRAINAGE AND ALSO STABILIZED WITH TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, CORRECTIONS SHALL BE MADE AND, TOPSOIL, SEED, AND MULCH SHALL BE REPLACED UNTIL SETTLEMENT SUBSIDES. (SEE SOIL EROSION AND SEDIMENT CONTROL NOTES, DETAILS, AND SPECIFICATIONS).

### TRAFFIC

- THE CONTRACTOR SHALL INSTALL ANY PUBLIC STOP SIGNS, STREET SIGNS, CROSSWALKS, AND STOP BARS, BASED UPON "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND PER THE TOWN OF EASTON DIRECTIONS. COST FOR SIGNAGE, MARKINGS, ETC. BY OWNER. THE CONTRACTOR SHALL PROVIDE AND INSTALL ANY SUPPLEMENTAL MARKINGS OR ADDITIONAL SIGNAGE NOT REQUIRED BY "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THE EXACT LOCATION ARE TO BE APPROVED BY THE TOWN OF EASTON. THE TOWN OF EASTON PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO SUCH WORKS TO INSPECT THE INSTALLATION OF THE SIGNAGE AND/OR PAVEMENT MARKINGS.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY TO INCLUDE VEHICULAR AND PEDESTRIAN SAFETY AT ALL TIMES.
- PROVISIONS SHALL BE MADE, WITH APPROPRIATE SIGNAGE PROVIDED AS NEEDED, TO ALLOW ACCESS TO PROPERTIES BY RESIDENTS OR BUSINESS PATRONS.
- CONTRACTOR SHALL NOTIFY THE TOWN OF EASTON AND EMERGENCY MANAGEMENT SERVICES PRIOR TO ANY ROAD CLOSURES AND SHALL COORDINATE TRAFFIC PATTERNS TO MINIMIZE TRANSPORTATION DISRUPTION.
- THE TOWN OF EASTON, OR THE ENGINEER, SHALL RETAIN THE RIGHT TO REQUIRE MODIFICATIONS TO TEMPORARY TRAFFIC CONTROL MEASURES BEING UTILIZED IN THE EVENT THERE EXISTS A POTENTIAL SAFETY OR ACCESS ISSUE RESULTING FROM CONSTRUCTION ACTIVITIES.

REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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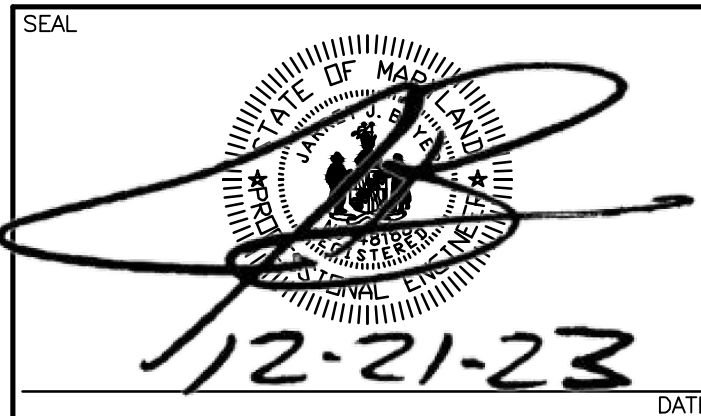
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### PROJECT NOTES

FOR  
ST. VINCENT DE PAUL

IN THE TOWN OF EASTON  
TALBOT COUNTY, MARYLAND  
TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR: DATE: BY:  
ESDR SUBMITTAL 08/01/23 BCE  
PLANNING COMMISSION 08/28/23 BCE  
SITE PLAN REVIEW 12/21/23 BCE

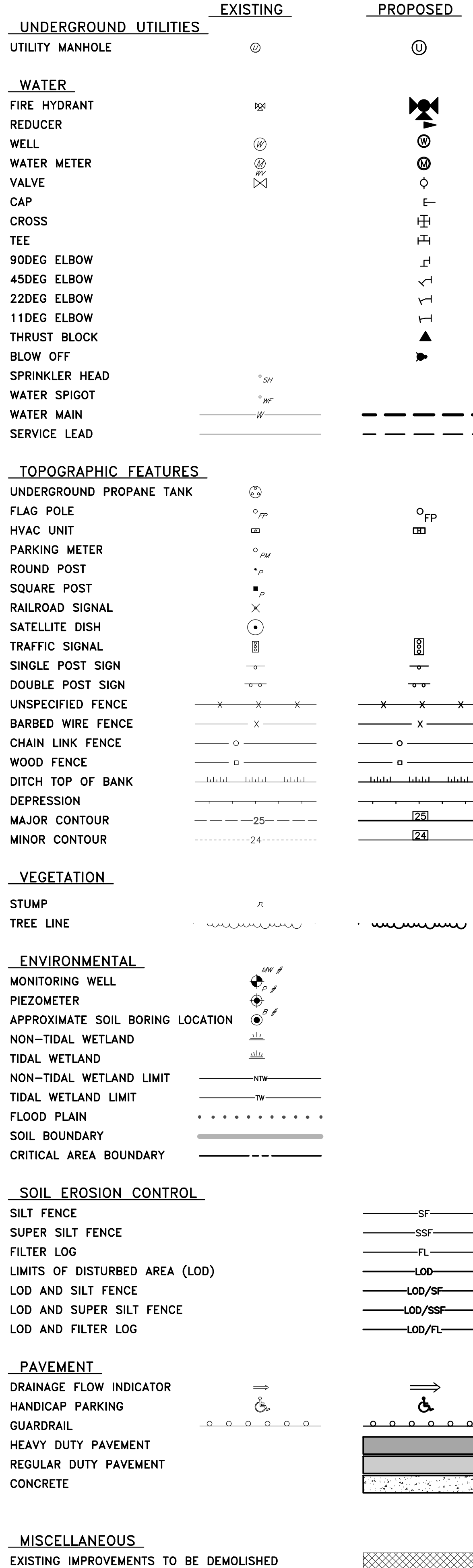
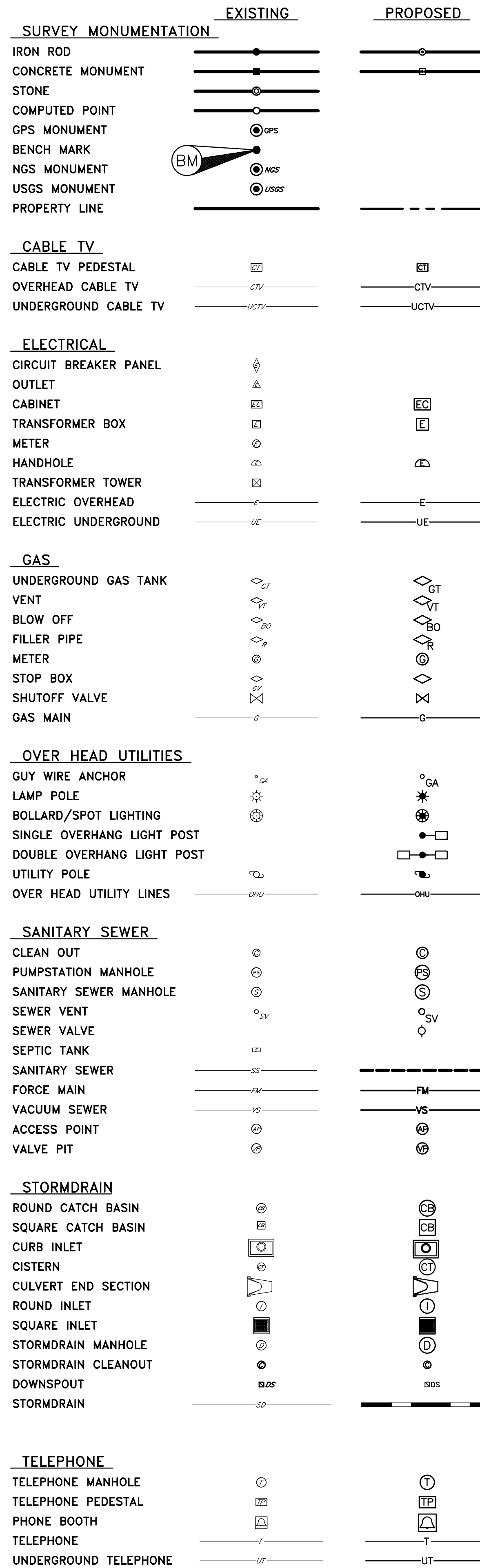
SHEET No.  
G-102

SCALE:  
AS NOTED

JOB No. 230215

FILE No. 3248

DATE PLOTTED: 12/21/2023 10:52 AM



ABBREVIATIONS	
ADA	AMERICANS WITH DISABILITIES ACT
AGIP	AT GRADE INLET PROTECTION
BC	BACK OF CURB
BM	BENCHMARK
BRL	BUILDING RESTRICTION LINE
CES	CONCRETE END SECTION
C	CENTERLINE
CHRD	CHORD
CIP	CURB INLET PROTECTION
CMP	CORRUGATED METAL PIPE
CY	CUBIC YARD
DI	DUCTILE IRON
DIMJ	DUCTILE IRON MECHANICAL JOINT
E	EAST
EL/ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EX	EXISTING
FPE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
FES	FLARED END SECTION
FL	FLOWLINE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
I	INLET
INV	INVERT
KV	KILOVOLTS
L	ARC LENGTH
LF	LINEAR FEET
LOD	LIMITS OF DISTURBED AREA
LP	LOW POINT
LT	LEFT
MAX	MAXIMUM
MH	MANHOLE
MHW	MEAN HIGH WATER
MIN	MINIMUM
MLW	MEAN LOW WATER
MSHA	MARYLAND STATE HIGHWAY ADMINISTRATION
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
N	NORTH
NO	NUMBER
PC	POINT OF CURVATURE
PE	POLYETHYLENE
PT	POINT OF TANGENCY
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
Q	DISCHARGE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT-OF-WAY
RT	RIGHT
S	SOUTH
SCE	STABILIZED CONSTRUCTION ENTRANCE
SDCO	STORMDRAIN CLEANOUT
SDMH	STORMDRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SF	SILT FENCE
Sf	FRICTION SLOPE
SHA	STATE HIGHWAY ADMINISTRATION
SIP	STANDARD INLET PROTECTION
SL	STREET LIGHT
SSF	SUPER SILT FENCE
STA	STATION
STD	STANDARD
SWM	STORMWATER MANAGEMENT
TAN	TANGENT
TB	THRUST BLOCK
TBR	TO BE REMOVED
TC	TOP OF CURB
TCP	TERRACOTTA PIPE
TYP	TYPICAL
UE	UNDERGROUND ELECTRIC
UL	UNDERGROUND LIGHT CABLE
UT	UNDERGROUND TELEPHONE
V	VELOCITY
VCP	VITRIFIED CLAY PIPE
W	WEST
W/	WITH

REVISIONS TO APPROVED PLANS			
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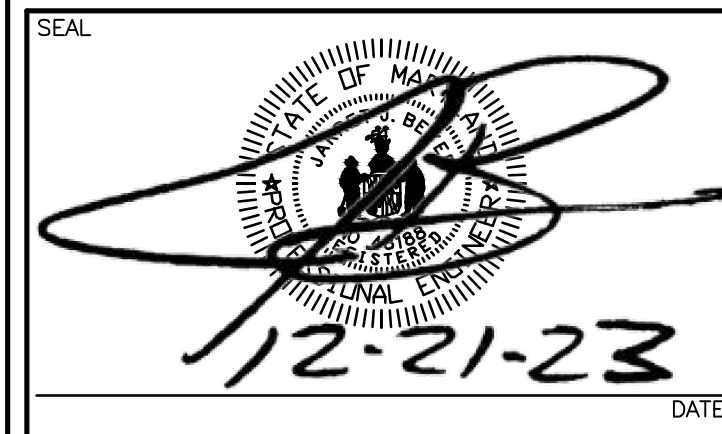
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**LEGEND & ABBREVIATIONS**

FOR  
**ST. VINCENT DE PAUL**

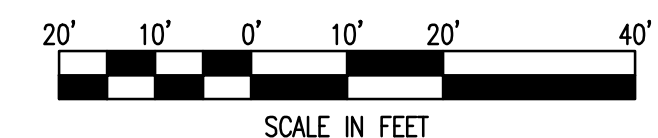
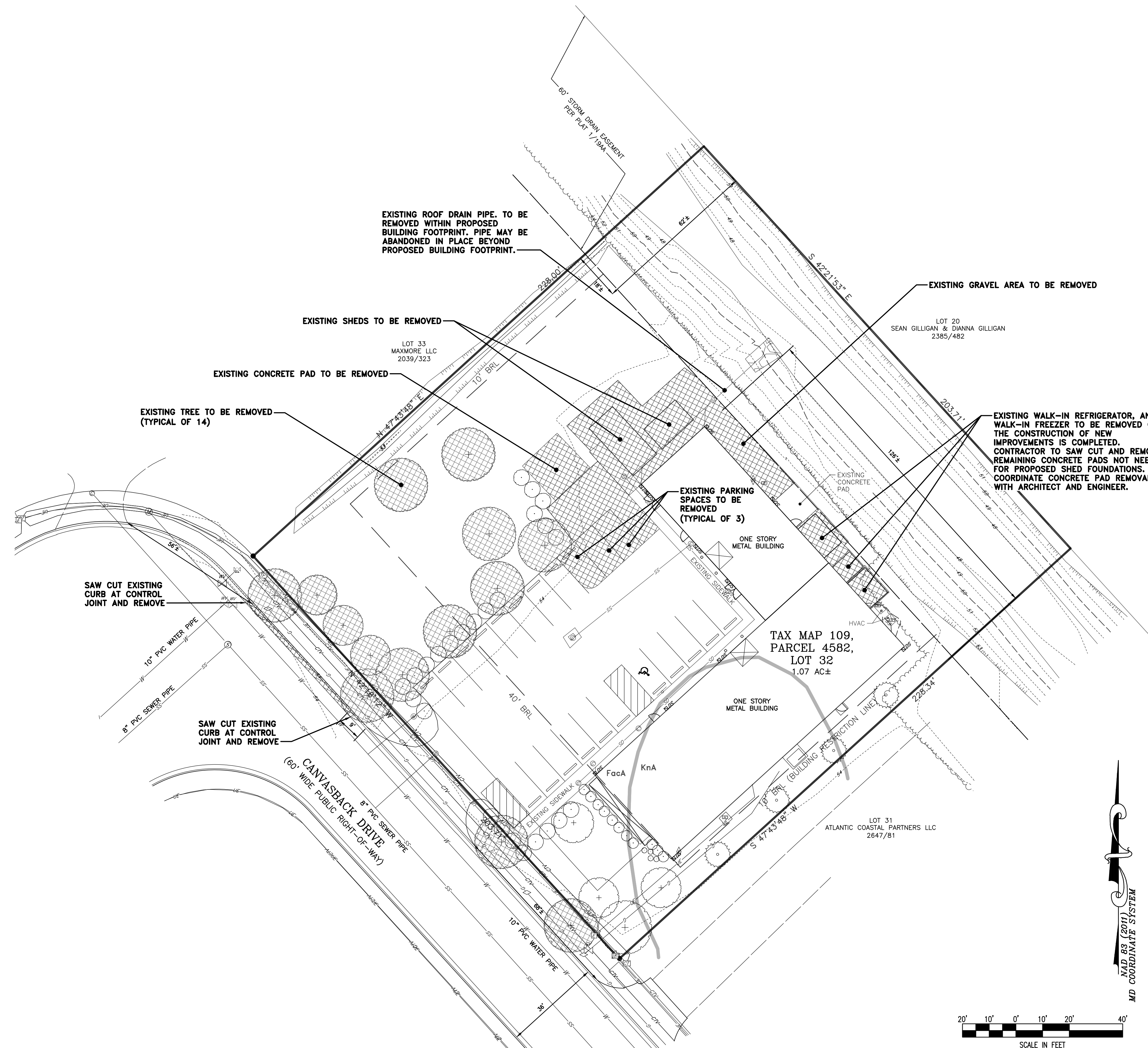
IN THE TOWN OF EASTON  
 TALBOT COUNTY, MARYLAND  
 TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR: ESDR SUBMITTAL PLANNING COMMISSION SITE PLAN REVIEW	DATE: 08/01/23 BCE 08/28/23 BCE 12/21/23 BCE
SHEET No. <b>G-103</b>	JOB No. 230215
SCALE: AS NOTED	FILE No. 3248

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TALBOT COUNTY SOILS				
MAP SYMBOL	SOILS NAME	HYDRIC SOILS	K FACTOR	SOIL GROUP
FacA	FALLSINGTON SANDY LOAM	YES		C/D
KnA	KENTUCK MUCKY SILT LOAM	YES		C/D



NAD 83 (2011)  
MD COORDINATE SYSTEM

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SEAL



12-21-23 DATE

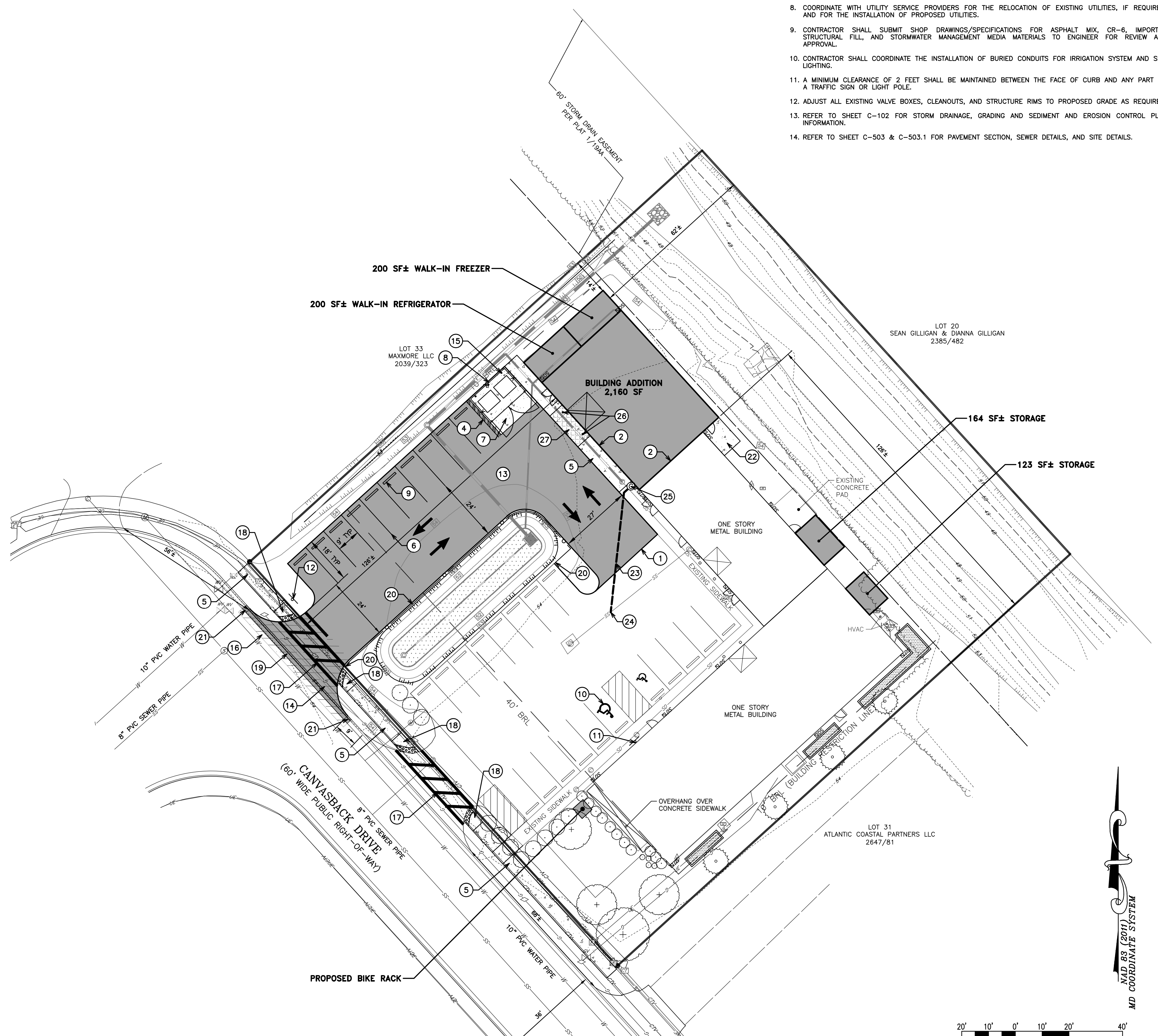
**EXISTING CONDITIONS & DEMOLITION PLAN**  
FOR  
**ST. VINCENT DE PAUL**  
IN THE TOWN OF EASTON  
TALBOT COUNTY, MARYLAND  
TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR:	DATE:	BY:
ESDR SUBMITTAL	08/01/23 BCE	
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SITE PLAN REVIEW	12/21/23 BCE	

SHEET No. <b>V-101</b>	JOB No. 230215
SCALE: <b>AS NOTED</b>	FILE No. 3248

**SITE & UTILITY KEY NOTES**

- ① TIE TO EXISTING PAVEMENT W/ SMOOTH TRANSITION
- ② INSTALL FULL DEPTH EXPANSION MATERIAL WHERE CONCRETE ADJUTS RIGID STRUCTURES AND/OR CURBING (TYP)
- ③ RESERVED
- ④ 1'3" X 18' AREA TO BE STRIPED. 4" STRIPES, DIAGONAL, 1' SPACING
- ⑤ CONCRETE SIDEWALK, WIDTH PER PLAN, PER TOWN OF EASTON DETAIL TOE-R-7.01
- ⑥ 4" WIDE WHITE WATER BASED PAVEMENT MARKINGS (TYP)
- ⑦ CONCRETE DUMPSTER PAD PER DETAIL. SEE DETAILS.
- ⑧ 7' HIGH DUMPSTER SCREENING FENCE/ENCLOSURE W/ GATES, STYLE AND MATERIALS TO BE APPROVED BY OWNER. SEE DETAIL.
- ⑨ CONCRETE WHEEL STOP PER DETAIL (TYP)
- ⑩ ADA PAVEMENT MARKING SYMBOL PER DETAIL (TYP)
- ⑪ VAN ACCESSIBLE ADA PARKING SIGN PER DETAIL
- ⑫ STOP SIGN (30"x30" R1-1) PER DETAIL & 24" WIDE THERMOPLASTIC STOP BAR PER MUTCD
- ⑬ REGULAR DUTY ASPHALT PAVEMENT PER DETAIL 
- ⑭ ASPHALT PAVEMENT W/ IN RIGHT-OF-WAY AND/OR TO PC/PT OF CURB & GUTTER SHALL COMPLY W/ TOWN OF EASTON DETAIL TOE-R-1.01 "COMMERCIAL ASPHALT PAVEMENT FOR ROADS"
- ⑮ BOLLARD PER DETAIL
- ⑯ 2' WIDE MILL & SURFACE PAVEMENT OVERLAY, 1 1/2" DEEP FOR SMOOTH TIE-IN. SAW CUT EXISTING PAVEMENT FOR FULL DEPTH ENTRANCE TIE-IN
- ⑰ 6' WIDE (INTERIOR TO INTERIOR OF EDGE LINES) CROSSWALK PER TOWN OF EASTON DETAIL TOE-R-8.02
- ⑱ RAMP AND 2' WIDE DETECTABLE WARNING SURFACE PER TOWN OF EASTON DETAILS TOE-R-4.02 AND TOE-R-7.08
- ⑲ STANDARD DEPRESSIONED CURB AND GUTTER PER TOWN OF EASTON DETAIL TOE-R-6.03
- ⑳ GUARDRAIL PER DETAIL. END 1' FROM BACK OF SIDEWALK, AS SHOWN.
- ㉑ 2" NOSEDOWN
- ㉒ CONCRETE PAD PER DETAIL
- ㉓ 4" CLASS 50 DUCTILE IRON SANITARY SEWER LATERAL, 2% MINIMUM SLOPE
- ㉔ CONNECT TO EXISTING SANITARY SEWER LATERAL. ASSUMED INVERT = 52.53. CONTRACTOR TO VERIFY INVERT AND THAT 2% MINIMUM SLOPE FROM BUILDING CAN BE ACHIEVED. IF MINIMUM SLOPE CANNOT BE ACHIEVED, CONTACT ENGINEER.
- ㉕ SANITARY SEWER CLEANOUT, FRAME AND COVER PER TOE STANDARD DETAIL SS-4.04 (TYP)
- ㉖ BOLLARD TO MATCH EXISTING BOLLARDS IN FRONT OF LOADING DOORS ON-SITE. MATCH BOLLARD DETAIL FOUNDATION
- ㉗ HEAVY DUTY CONCRETE SIDEWALK PER DETAIL 



**SITE NOTES**

- 1. BUILDING OUTLINES SHOWN BASED ON ARCHITECTURAL FLOOR PLAN PROVIDED BY OWNER. CONTRACTOR SHALL VERIFY WITH OWNER/ARCHITECT/ENGINEER EXACT DIMENSIONS OF FOUNDATION. STAKE OUT SHALL BE PER FOUNDATION PLAN PROVIDED BY OWNER AND NOT BASED ON DIMENSIONS SHOWN OR SCALED HEREON.
- 2. COORDINATE WITH ARCHITECTURAL PLANS FOR EXACT LOCATION OF SEWER AND OTHER UTILITY CONNECTIONS.
- 3. COORDINATE LOCATION OF LEADWALK WITH DOOR LOCATIONS PER ARCHITECTURAL PLANS.
- 4. ALL DIMENSIONS AND RADII REFER TO FLOWLINE OF CURB OR EDGE OF PAVEMENT.
- 5. ALL CURB TERMINATIONS SHALL HAVE 2" NOSEDOWNS, UNLESS OTHERWISE SPECIFIED OR SHOWN HEREON.
- 6. PROPOSED PARKING LOT BASE SHALL BE PROOF ROLLED AND APPROVED BY ENGINEER PRIOR TO ASPHALT PLACEMENT.
- 7. TRAFFIC FLOW ARROWS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE NOT INTENDED TO BE INSTALLED.
- 8. COORDINATE WITH UTILITY SERVICE PROVIDERS FOR THE RELOCATION OF EXISTING UTILITIES, IF REQUIRED, AND FOR THE INSTALLATION OF PROPOSED UTILITIES.
- 9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/SPECIFICATIONS FOR ASPHALT MIX, CR-6, IMPORTED STRUCTURAL FILL, AND STORMWATER MANAGEMENT MEDIA MATERIALS TO ENGINEER FOR REVIEW AND APPROVAL.
- 10. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF BURIED CONDUITS FOR IRRIGATION SYSTEM AND SITE LIGHTING.
- 11. A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.
- 12. ADJUST ALL EXISTING VALVE BOXES, CLEANOUTS, AND STRUCTURE RIMS TO PROPOSED GRADE AS REQUIRED.
- 13. REFER TO SHEET C-102 FOR STORM DRAINAGE, GRADING AND SEDIMENT AND EROSION CONTROL PLAN INFORMATION.
- 14. REFER TO SHEET C-503 & C-503.1 FOR PAVEMENT SECTION, SEWER DETAILS, AND SITE DETAILS.

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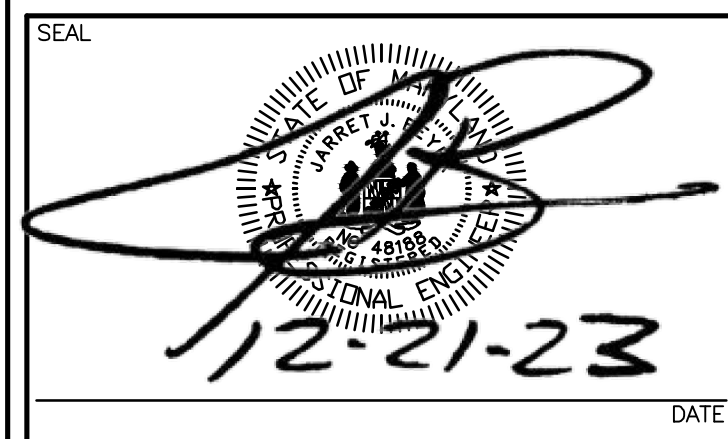
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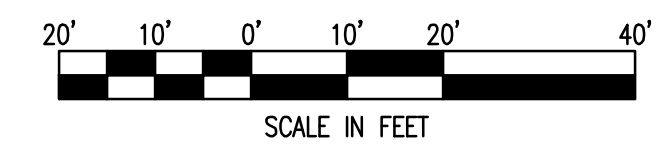
**SITE & UTILITY PLAN**  
 FOR  
**ST. VINCENT DE PAUL**  
 IN THE TOWN OF EASTON  
 TALBOT COUNTY, MARYLAND  
 TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR: DATE: BY:  
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SHEET No. C-101  
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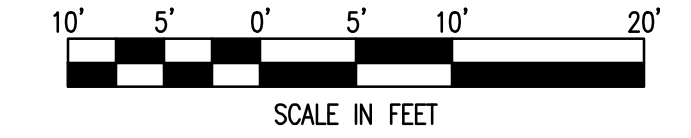
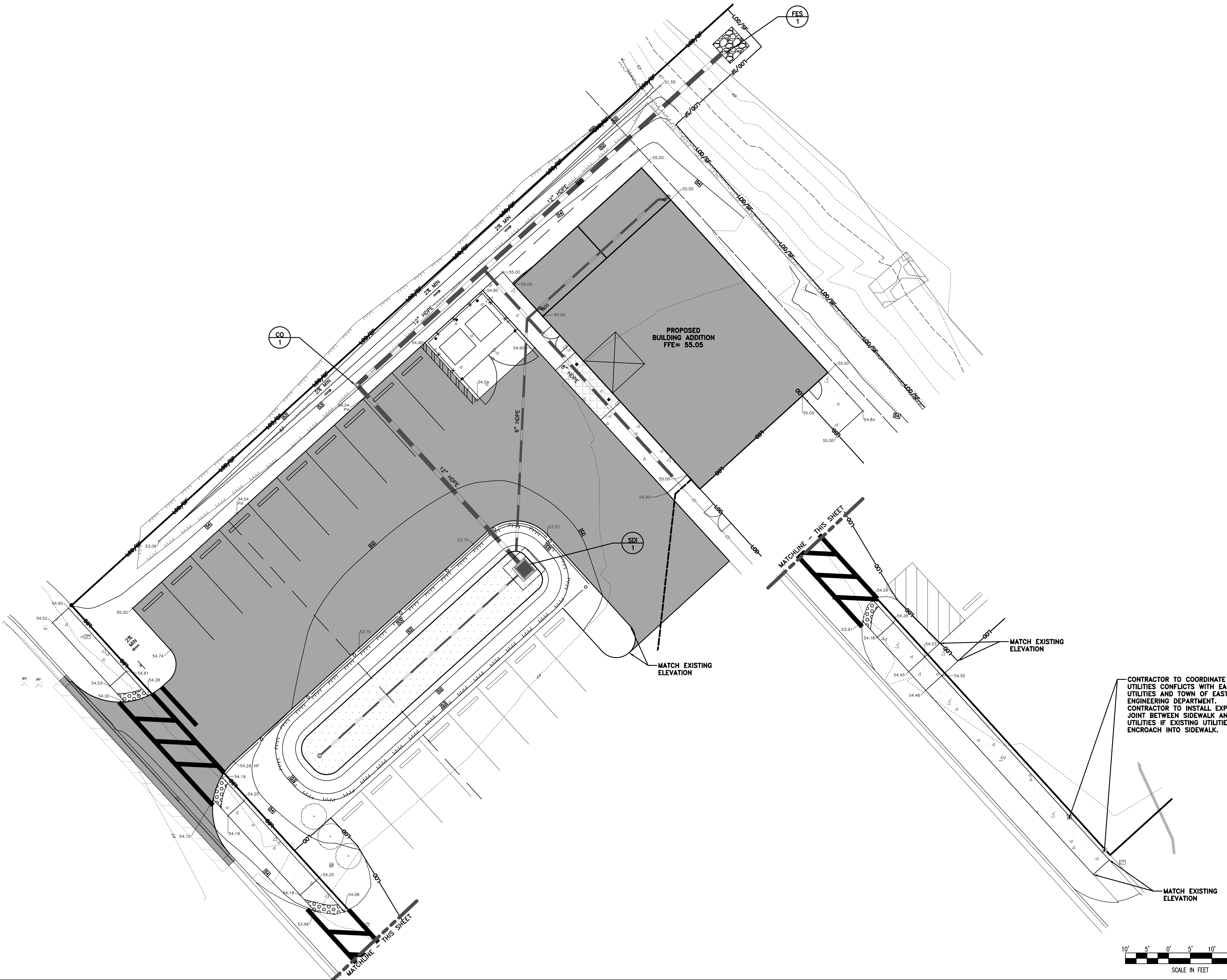
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 MD COORDINATE SYSTEM





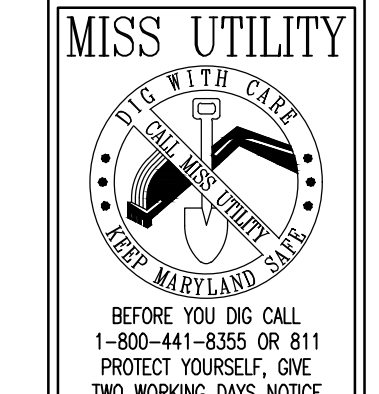
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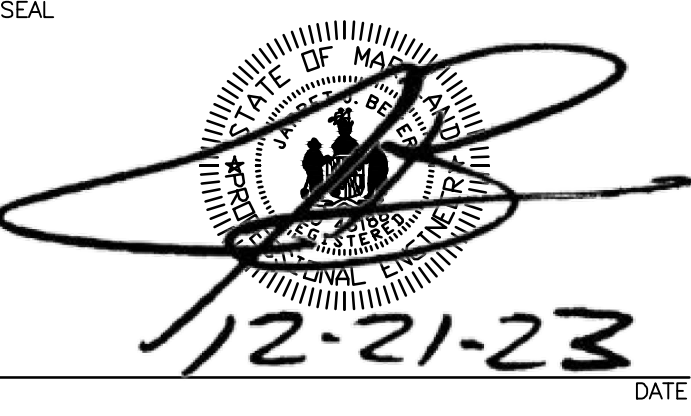
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DETAILED  
GRADING PLAN

FOR  
**ST. VINCENT DE PAUL**

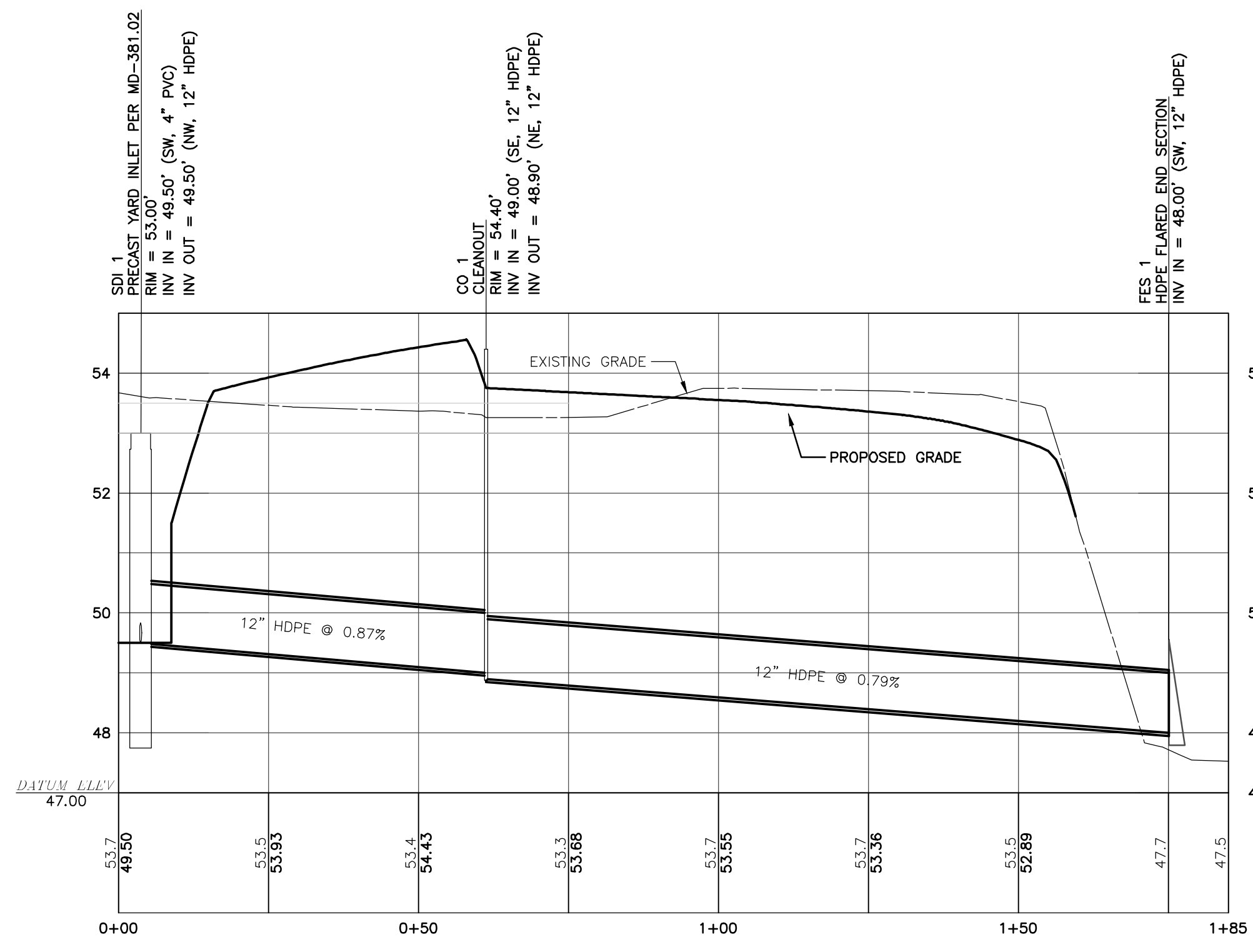
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PLANNING COMMISSION	08/28/23 BCE	
SITE PLAN REVIEW	12/21/23 BCE	

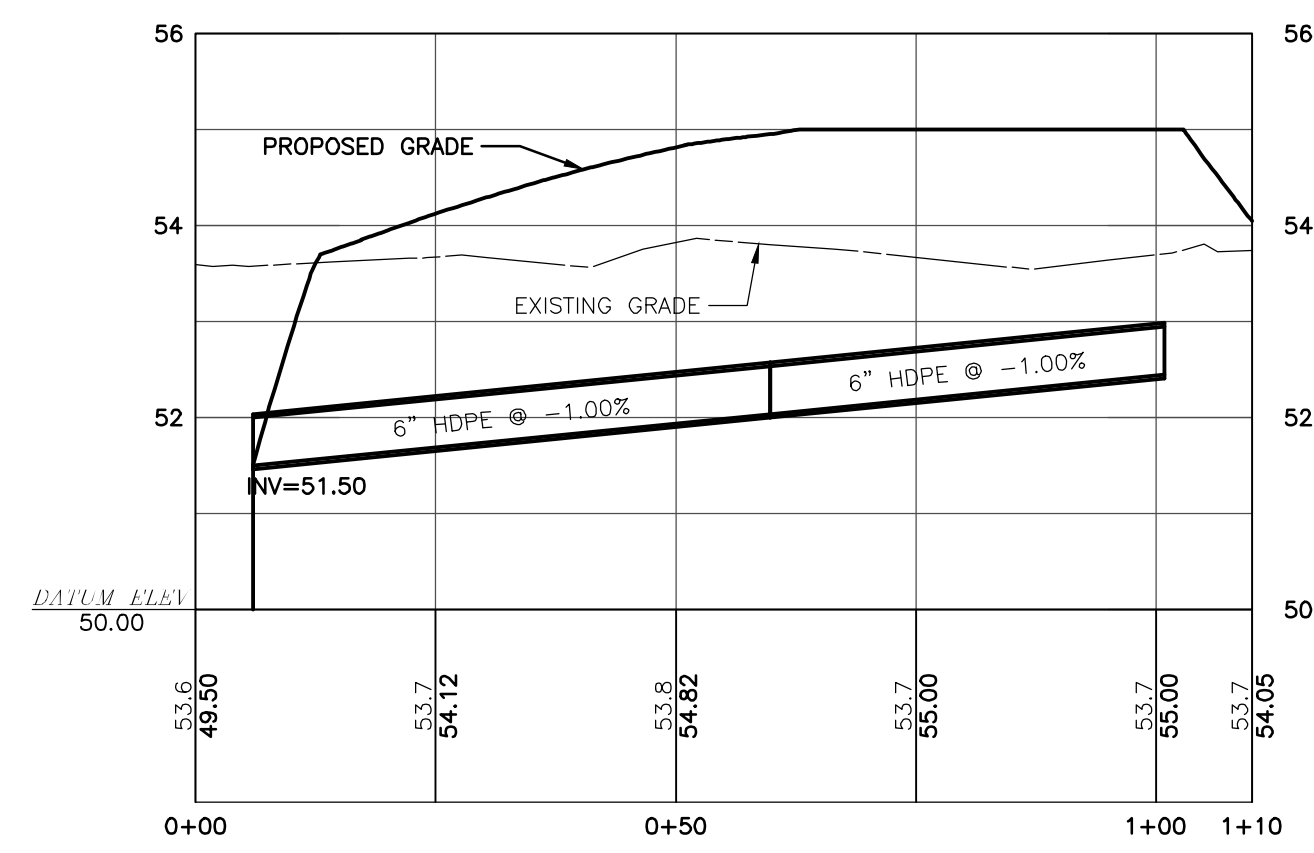
SHEET No. <b>C-103</b>	JOB No. 230215
SCALE: <b>AS NOTED</b>	FILE No. 3248

NAD 83 (GDA11) MD COORDINATE SYSTEM

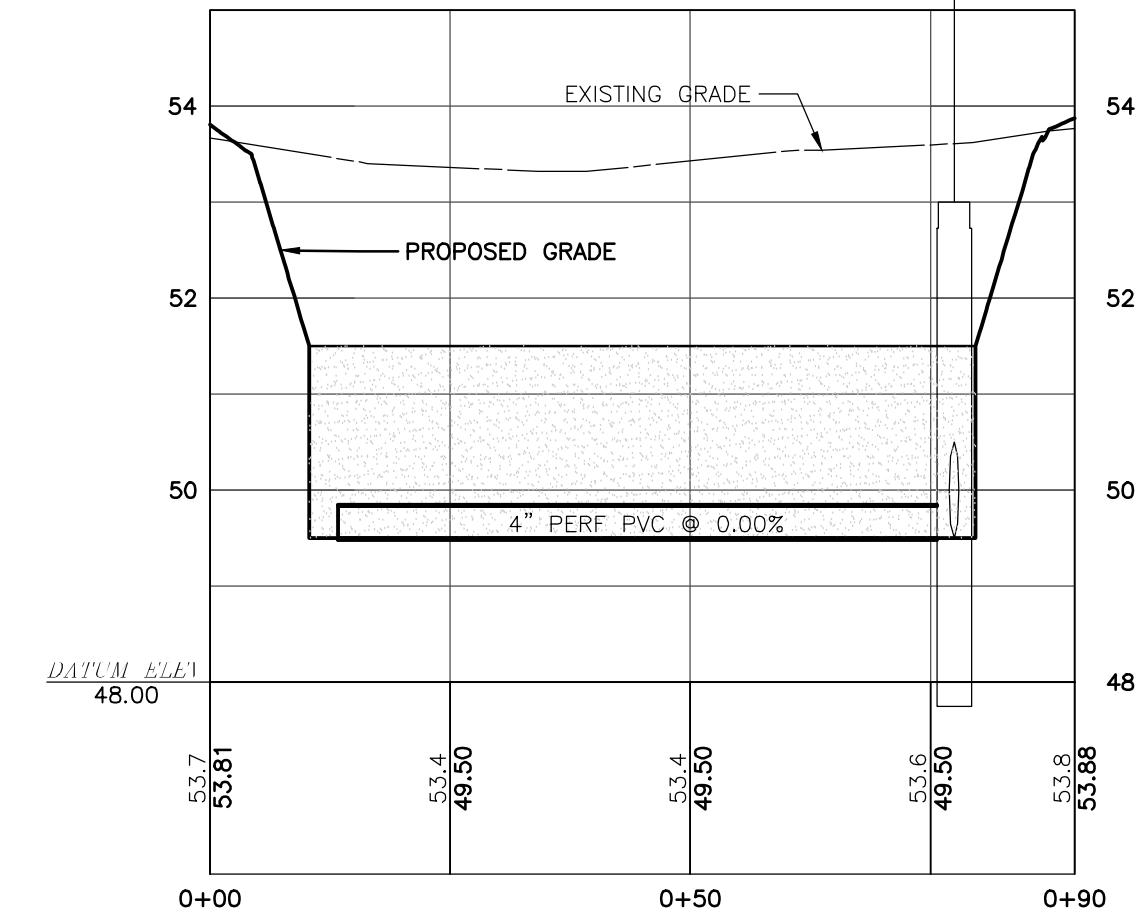
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**12" OUTFALL PIPE PROFILE**  
 STA. 0+00 (BEGIN) TO 1+85.00 (END)  
 SCALE: 1" = 2' (VERTICAL)  
 1" = 20' (HORIZONTAL)



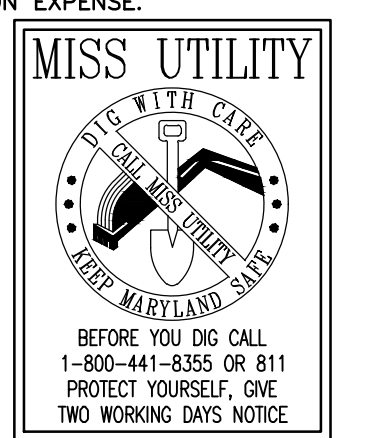
**PROPOSED ROOFDRAIN PROFILE**  
 STA. 0+00 (BEGIN) TO 1+20.00 (END)  
 SCALE: 1" = 2' (VERTICAL)  
 1" = 20' (HORIZONTAL)



**MICROBIORETENTION SECTION**  
 STA. 0+00 (BEGIN) TO 0+90.00 (END)  
 SCALE: 1" = 2' (VERTICAL)  
 1" = 20' (HORIZONTAL)

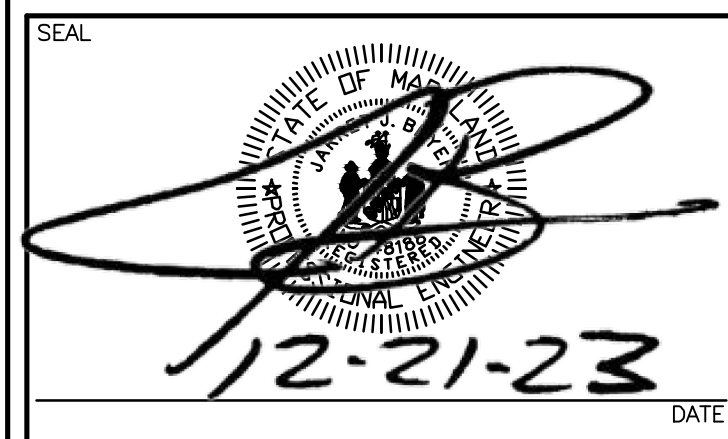
REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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 354 Pennsylvania Ave., Centreville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 48188, Expiration Date: 12/28/2023.

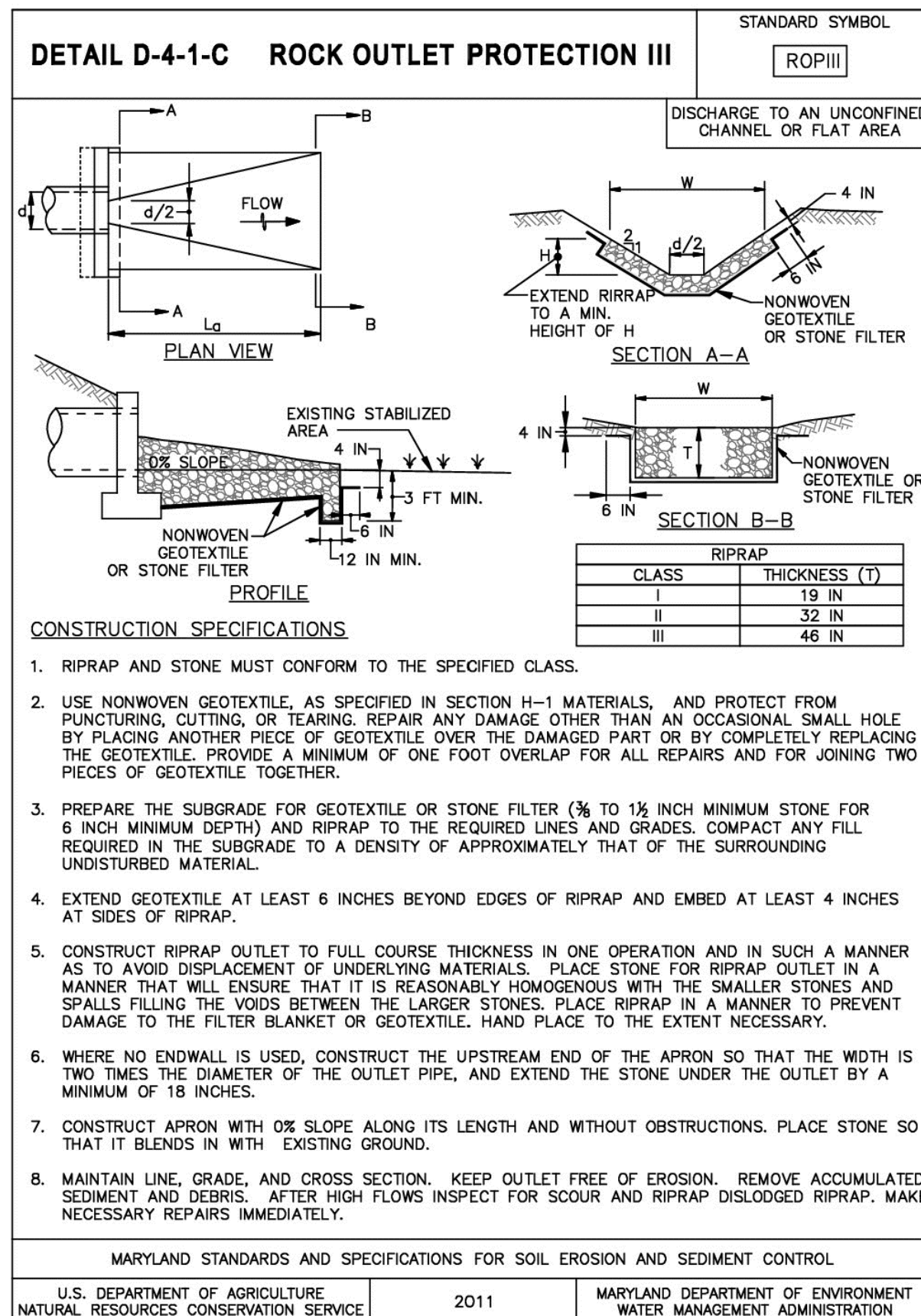
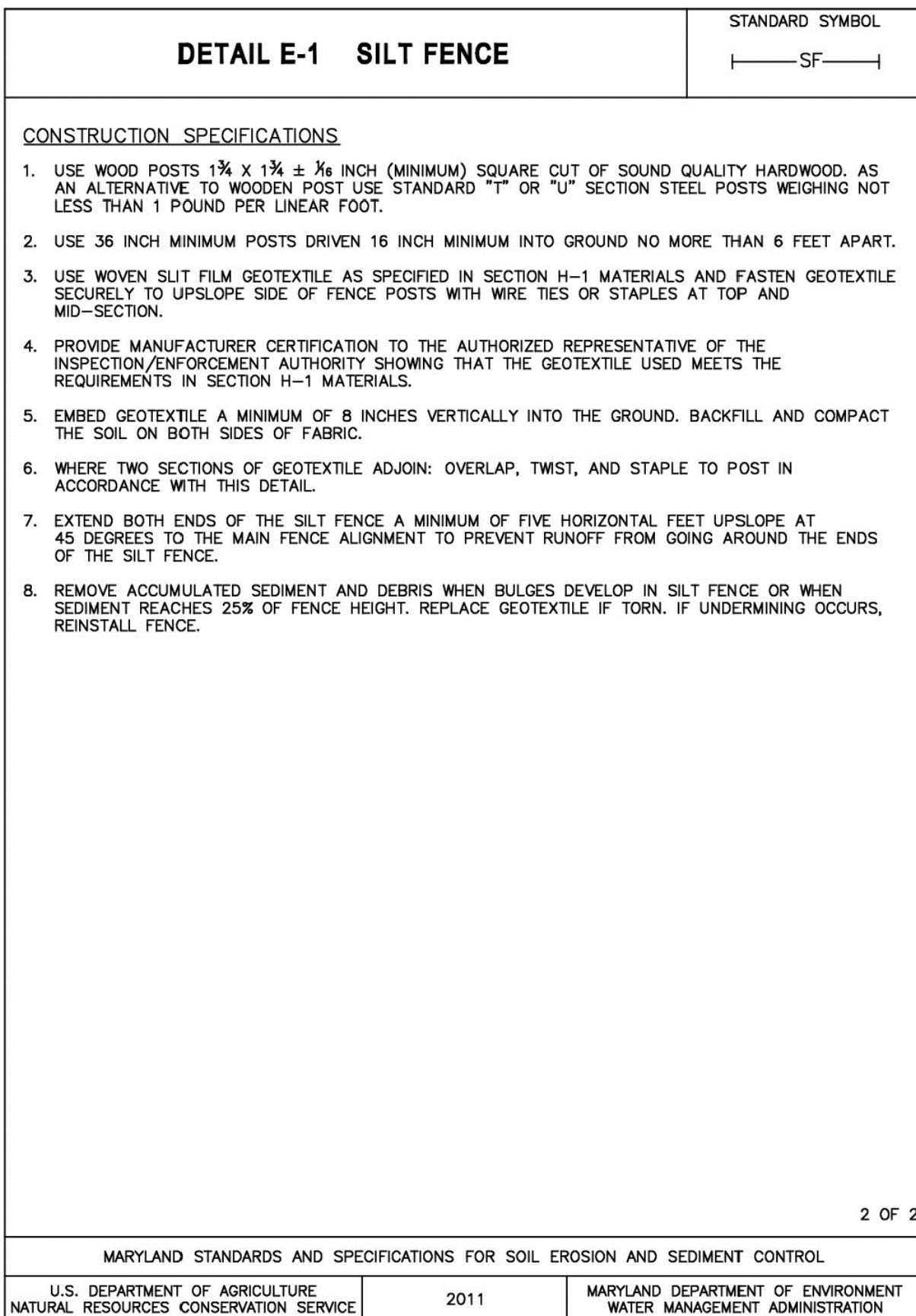
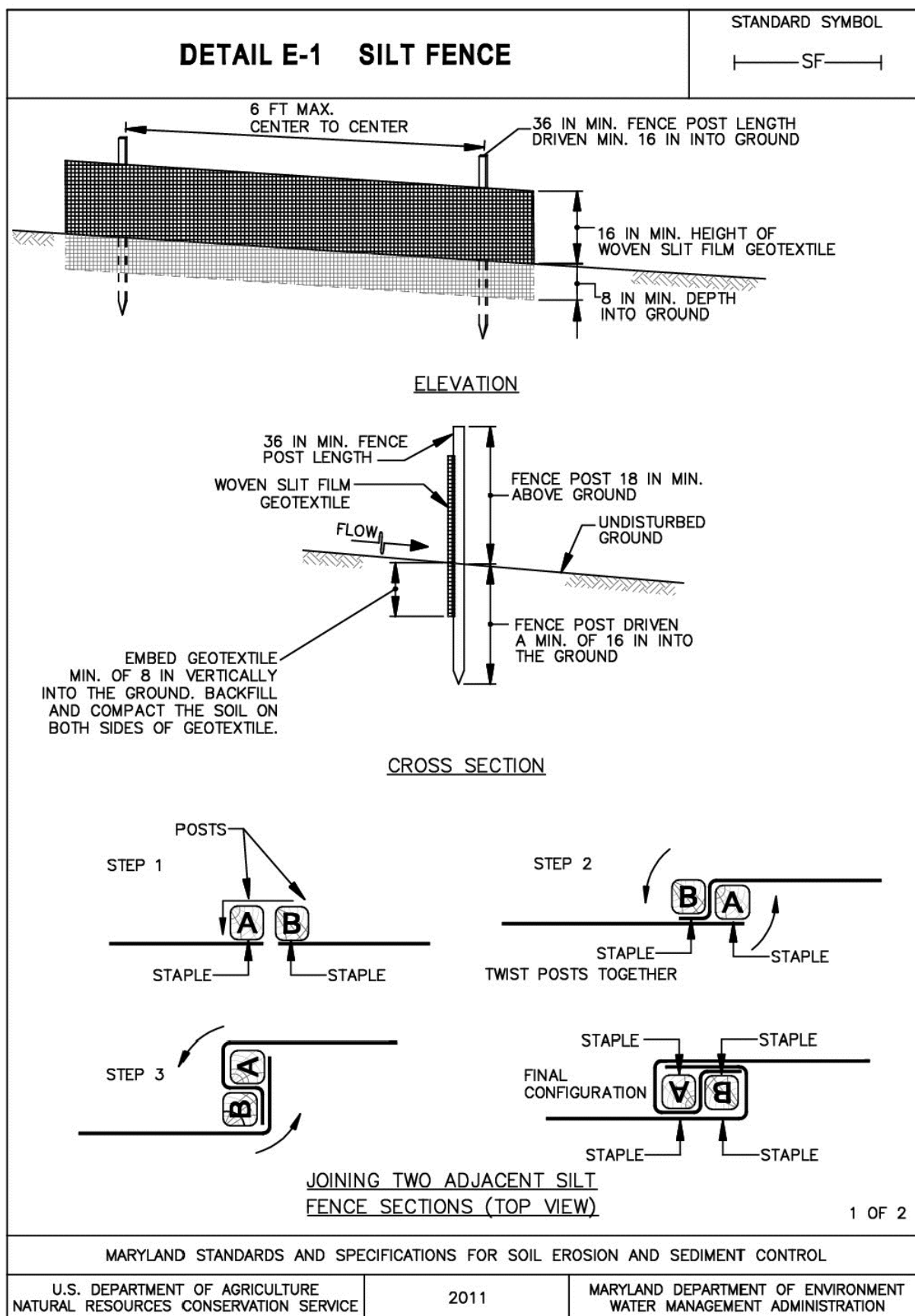
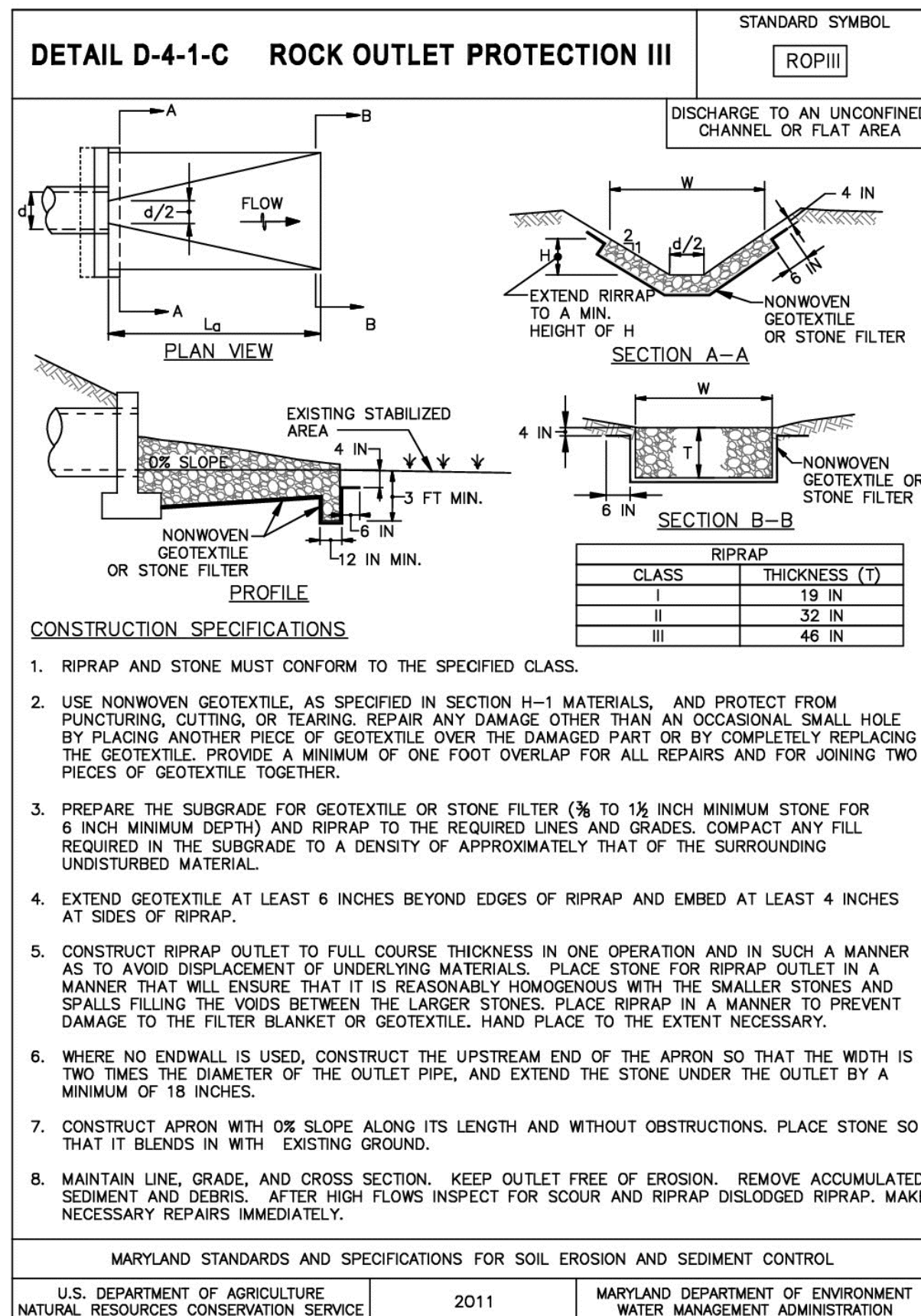
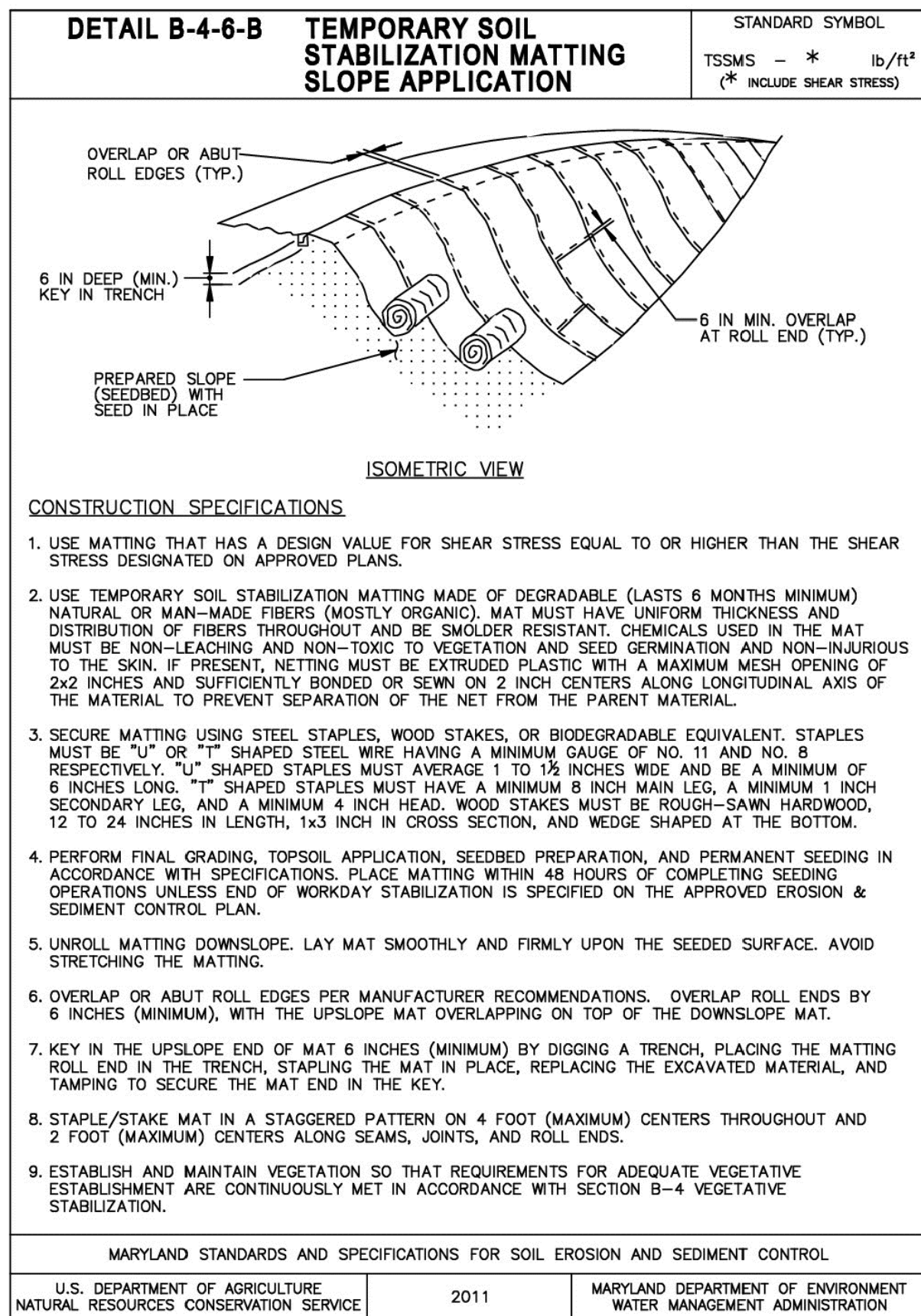
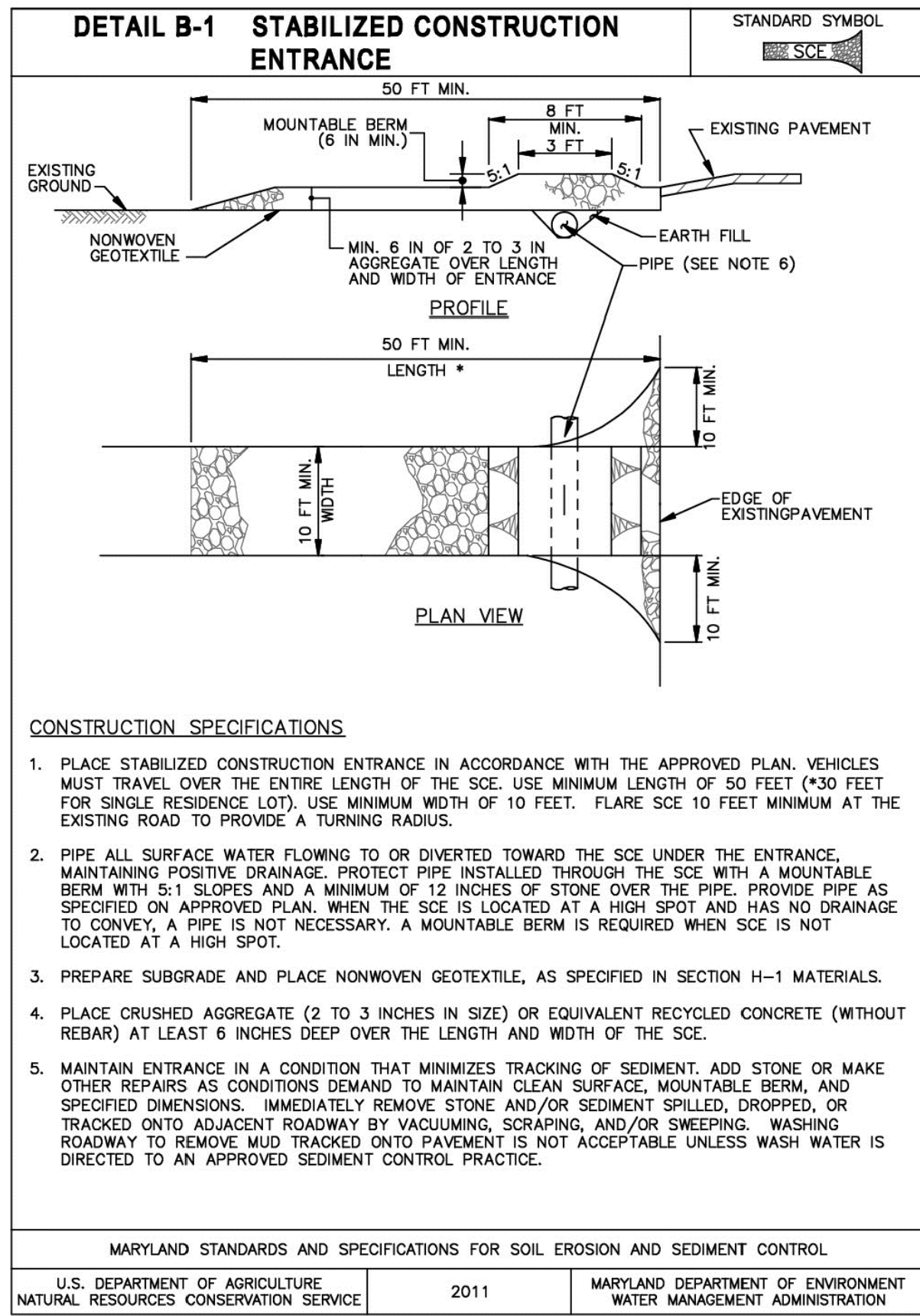


**STORM DRAIN PROFILES**  
 FOR  
**ST. VINCENT DE PAUL**  
 IN THE TOWN OF EASTON  
 TALBOT COUNTY, MARYLAND  
 TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR:	DATE:	BY:
ESDR SUBMITTAL	08/01/23	BCE
PLANNING COMMISSION	08/28/23	BCE
SITE PLAN REVIEW	12/21/23	BCE

SHEET No. <b>C-201</b>	JOB No. 230215
SCALE: <b>AS NOTED</b>	FILE No. 3248





### SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO ANY GRADING. FOLLOWING INITIAL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES GREATER THAN (3) HORIZONTAL TO (1) VERTICAL (3:1) AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PROVIDED AS INDICATED ON THIS PLAN, WITH LOCATION ADJUSTMENTS TO BE MADE IN THE FIELD AS NECESSARY, AND TO BE MAINTAINED AT THE END OF EACH WORKING DAY UNTIL PROJECT COMPLETION. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMAL AMOUNT OF TIME POSSIBLE.
- CLEARING AND GRUBBING SHALL INCLUDE ALL TREES, BRUSH, DEBRIS, ROOT MAT AND ORGANIC MATERIAL TO BE REMOVED.
- TEMPORARY SEEDING SHALL BE ACCOMPLISHED BETWEEN FEBRUARY 15TH THROUGH APRIL 30TH OR AUGUST 15TH THROUGH NOVEMBER 30TH. DURING OTHER TIMES, TEMPORARY MULCHING SHALL BE PROVIDED.
- TEMPORARY SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: 436 LBS PER ACRE OF 10-20-20; 4,000 LBS PER ACRE OF GROUND LIMESTONE, TO BE INCORPORATED INTO THE SOIL BY DISKING OR OTHER SUITABLE MEANS. ANNUAL RYE GRASS SHALL BE APPLIED AT A RATE OF 50 LBS PER ACRE USING SUITABLE EQUIPMENT. MULCHING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER SEEDING.

**TEMPORARY SEEDING SCHEDULE:**

Seed Mixture (Hardiness Zone 7a)					Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Appl. Rate (lbs/ac)	Seeding Dates	Seeding Depths		
	Annual Rye grass	50#	2/15-4/30 / 8/15-11/30	1"	Rate (436 lbs/ac) (10 lbs/1000 sf)	2 tons/ac (90 lbs/1000 sf)
	Barley	96#	2/15-4/30 / 8/15-11/30	1"		
	Oats	72#	2/15-4/30 / 8/15-11/30	1"		
	Wheat	120#	2/15-4/30 / 8/15-11/30	1"		
	Cereal Rye	112#	2/15-4/30 / 8/15-12/15	1"		
	Foxtail Millet	30#	5/1-8/14	1"		
	Pearl Millet	20#	5/1-8/14	1"		

- MULCHING SHALL BE UNCHOPPED, UNROTTED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2-2 1/2 TONS PER ACRE. ANCHOR MULCH WITH A MULCH ANCHORING TOOL ON THE CONTOUR. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW AT A RATE OF 750 LBS PER ACRE MIXED WITH WATER AT A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER PER 100 GALS OF WATER, OR WITH A SYNTHETIC LIQUID BINDER ACCORDING TO MANUFACTURER RECOMMENDATIONS. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1,500 LBS PER ACRE. MIX WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER PER 100 GALS OF WATER.
- PERMANENT SEEDING SHALL BE ACCOMPLISHED BETWEEN FEBRUARY 15TH THROUGH APRIL 30TH, OR AUGUST 15TH THROUGH OCTOBER 31ST. PERMANENT SEEDING AT OTHER THAN SPECIFIED TIMES WILL BE ALLOWED ONLY UPON WRITTEN APPROVAL. PERMANENT SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: PERMANENT SEEDING FOR SITES HAVING DISTURBED OVER (5) ACRES SHALL USE FERTILIZER RATES RECOMMENDED BY A SOIL TESTING AGENCY AND THE RECOMMENDATIONS PROVIDED IN THE PERMANENT SEEDING SUMMARY TABLE. PERMANENT SEEDING FOR CONDITIONS OTHER THAN LISTED ABOVE SHALL BE PERFORMED AT THE RATES AND DATES AS PROVIDED IN THE PERMANENT SEEDING SUMMARY TABLE BELOW. FERTILIZER AND LIME AMENDMENTS SHALL BE INCORPORATED INTO THE TOP 3" TO 5" OF THE SOIL BY DISKING OR OTHER SUITABLE MEANS. MULCHING SHALL BE ACCOMPLISHED AS DISCUSSED IN ITEM NO. 6 OF THESE SPECIFICATIONS.

**PERMANENT SEEDING SCHEDULE:**

Seed Mixture (Hardiness Zone 7a)					Fertilizer Rate (10-20-20)			Lime Rate
NO	Species	Application Rate (lbs/ac)	Seeding Dates	Seeding Depths	N	P205	K20	
7	Creeping Red Fescue Kentucky Bluegrass	60# 15#	2/15 to 4/30 or 8/15 to 10/31	1"-1"	45 lbs/ac (1 lbs/1000 sf)	90 lbs/ac (2 lbs/1000 sf)	90 lbs/ac (2 lbs/1000 sf)	2 tons/ac (90 lbs/1000 sf)
8	Tall Fescue	100#	2/15 to 4/30 or 8/15 to 10/31	1"-1"				
9	Tall Fescue Kentucky Bluegrass Perennial Ryegrass	60# 40# 20#	2/15 to 4/30 or 8/15 to 10/31	1"-1"				

- ANY SPOIL OR BORROW WILL BE PLACED AT A SITE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL AREAS REMAINING OR INTENDED TO REMAIN DISTURBED FOR LONGER THAN SEVEN (7) DAYS SHALL BE STABILIZED IN ACCORDANCE WITH THE USDA, NATURAL RESOURCES CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS FOR CRITICAL AREA STABILIZATION.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY OF SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.

**WETLAND SEEDING SCHEDULE:**

Seed Mixture (Hardiness Zone 7a)					Fertilizer Rate (10-20-20)	Lime Rate
Species	Application Rate (lbs/ac)	Seeding Dates	Seeding Depths			
Annual Ryegrass	40#	2/15 to 4/30 or 8/15 to 11/30	1"	Rate (436 lbs/ac) (10 lbs/1000 sf)	2 tons/ac (90 lbs/1000 sf)	
Foxtail millet	30#	5/1 to 8/14	1"			

### SOIL CONSERVATION DISTRICT INFORMATION

SOIL TYPES:

TALBOT COUNTY SOILS				
MAP SYMBOL	SOILS NAME	HYDRIC SOILS	K FACTOR	SOIL GROUP
FocA	FALLSINGTON SANDY LOAM	YES		C/D
KaA	KENTUCK MUCKY SILT LOAM	YES		C/D

LIMIT OF DISTURBANCE AREA = 0.6 AC±  
 ESTIMATED VOLUME OF CUT = 170 CY±  
 ESTIMATED VOLUME OF FILL = 200 CY±

CUT AND FILL VOLUME INFORMATION IS FOR SOIL EROSION AND SEDIMENT CONTROL APPROVAL ONLY AND IS BASED ON EXISTING AND FINAL DESIGN TOPOGRAPHIC SURFACES, WHICH INCLUDES PROPOSED ROAD BASE, ASPHALT, CONCRETE AND OTHER CONSTRUCTION MATERIALS WHICH SHOULD BE ACCOUNTED FOR IN SOIL CUT/FILL QUANTITIES REQUIRED. CONTRACTOR SHALL PERFORM HIS OWN EARTHWORK VOLUME COMPUTATION FOR ESTIMATING OR BIDDING PURPOSES.

### REVISIONS TO APPROVED PLANS

No.	DATE	DESCRIPTION	BY

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PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 45188, Expiration Date: 12/28/2023.



### SEDIMENT & EROSION CONTROL NOTES & DETAILS

FOR  
 ST. VINCENT DE PAUL

IN THE TOWN OF EASTON  
 TALBOT COUNTY, MARYLAND  
 TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR: DATE: BY:  
 ESDR SUBMITTAL 08/01/23 BCE  
 PLANNING COMMISSION 08/28/23 BCE  
 SITE PLAN REVIEW 12/21/23 BCE

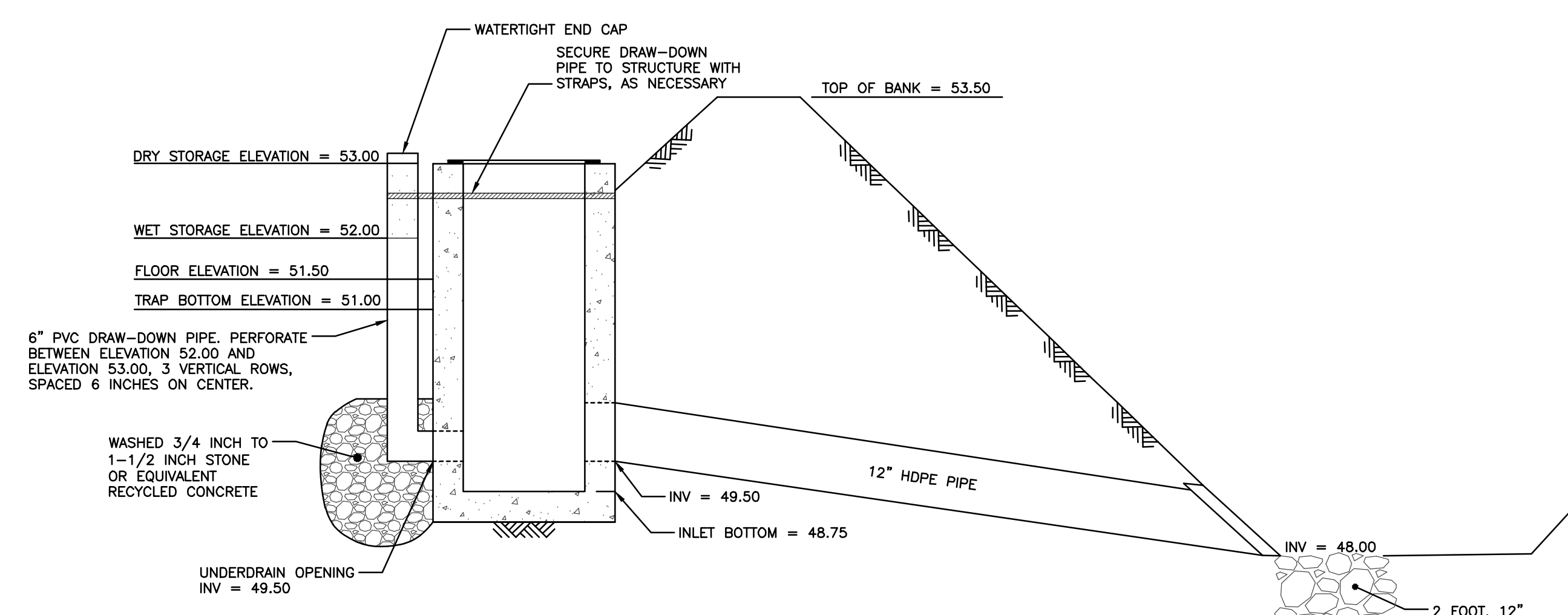
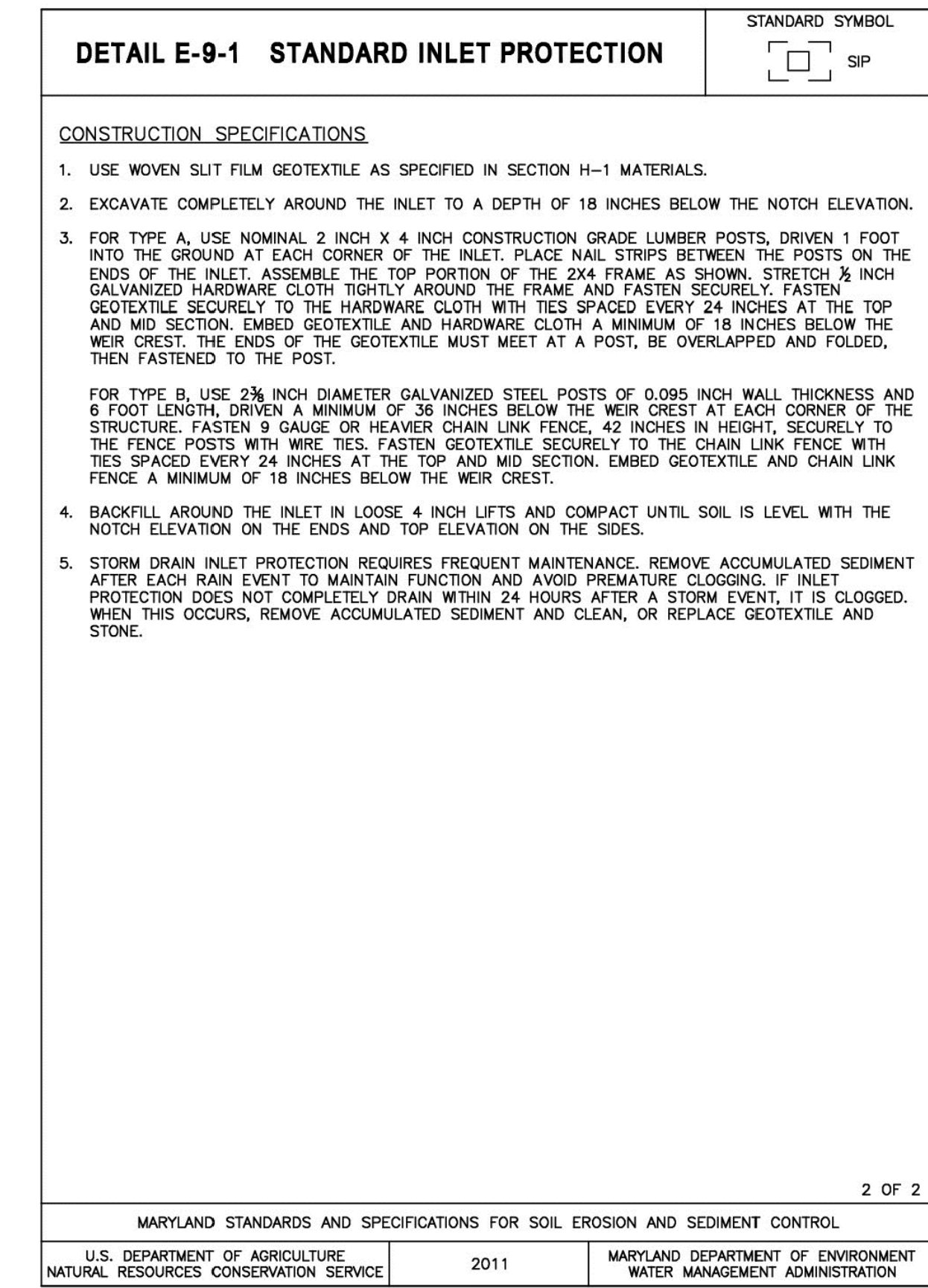
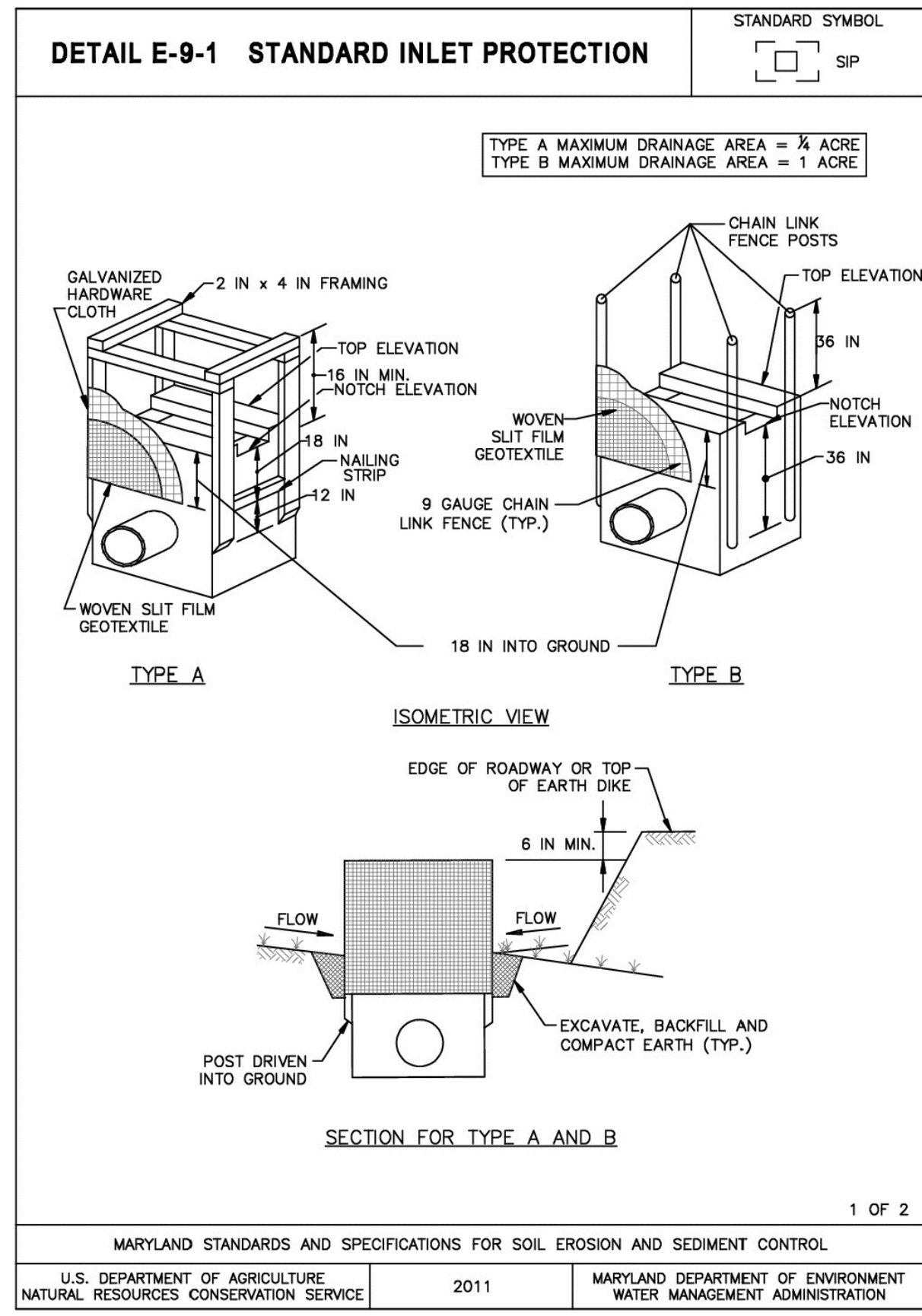
SHEET No. **C-501**

SCALE: **AS NOTED**

JOB No. **230215**

FILE No. **3248**

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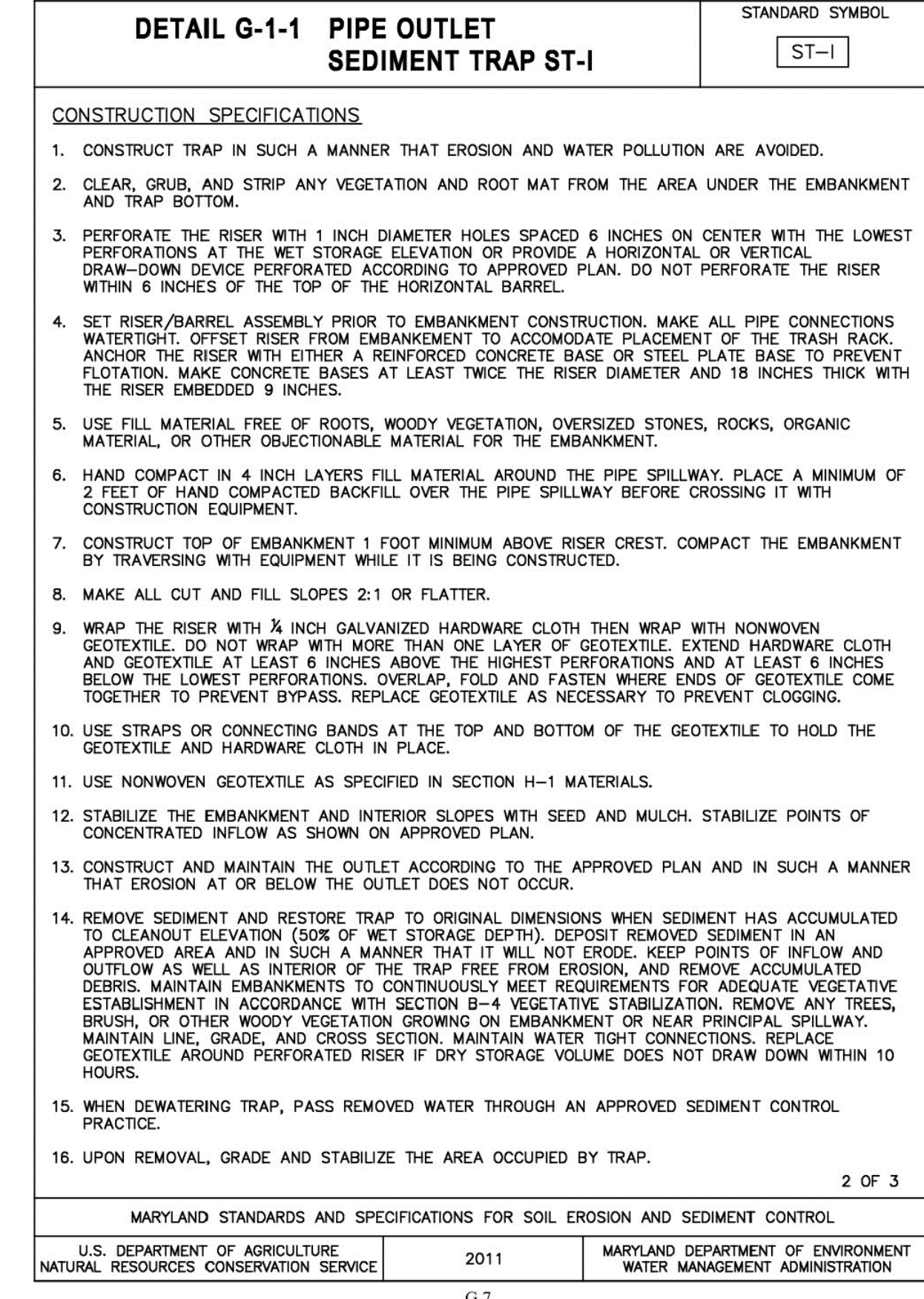
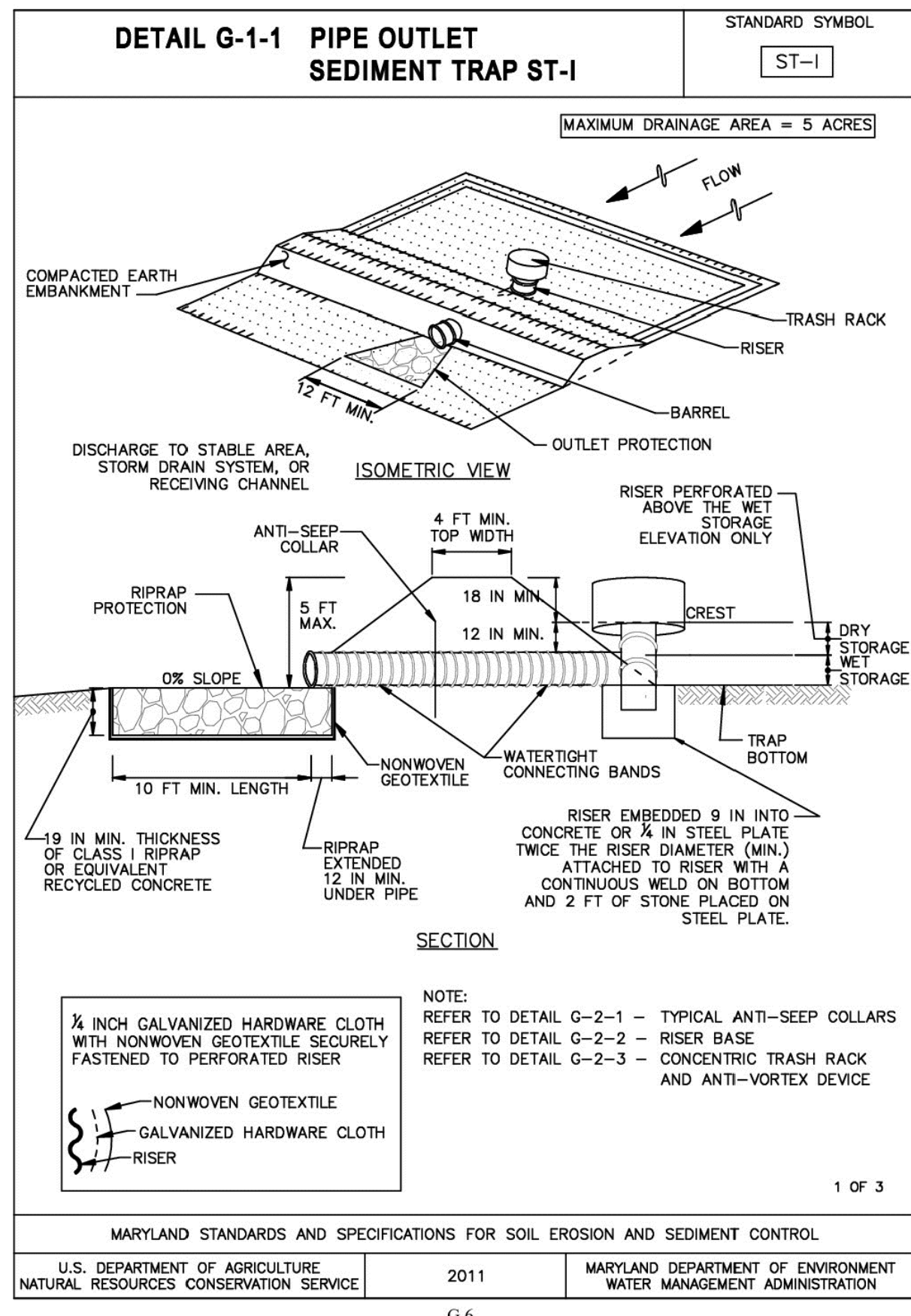
NOTES

- OUTLET STRUCTURE SHALL BE PRECAST YARD INLET PER MDT SHA STD NO MD 381.02.
- GRATE SHALL BE STANDARD GRATE PER DETAIL.

**OS-1 SECTION**  
**SEDIMENT & EROSION CONTROL PHASE**  
NOT TO SCALE

PIPE OUTLET SEDIMENT TRAP ST-1	
DRAINAGE AREA - INITIAL	0.4 ACRES
DRAINAGE AREA - FINAL	0.4 ACRES
TOTAL STORAGE REQUIRED	1,440 CF
TOTAL STORAGE PROVIDED	2,024 CF
WET STORAGE REQUIRED	720 CF
WET STORAGE PROVIDED	793 CF
DRY STORAGE REQUIRED	720 CF
DRY STORAGE PROVIDED	1,231 CF
TRAP BOTTOM ELEVATION	51.0
TRAP BOTTOM DIMENSIONS (734 SF)	11' X 69'
DRY STORAGE ELEVATION	53.0
WET STORAGE ELEVATION	52.0
CLEANOUT ELEVATION	51.5
TOP OF EMBANKMENT ELEVATION	53.5
SIDE SLOPE	3:1
EMBANKMENT TOP WIDTH	> 4 FEET
PRINCIPAL SPILLWAY MATERIAL	PVC

4" PVC DRAW-DOWN PIPE, PERFORATE BETWEEN ELEVATIONS 51.5 AND 52.5, 3 VERTICAL ROWS, SPACED 6 INCHES ON CENTER.



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**SEDIMENT & EROSION CONTROL NOTES & DETAILS**

FOR  
**ST. VINCENT DE PAUL**

IN THE TOWN OF EASTON  
TALBOT COUNTY, MARYLAND  
TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR:	DATE:	BY:
ESDR SUBMITTAL	08/01/23 BCE	
PLANNING COMMISSION	08/28/23 BCE	
SITE PLAN REVIEW	12/21/23 BCE	

SHEET No. <b>C-501.1</b>	JOB No. 230215
SCALE: <b>AS NOTED</b>	FILE No. 3248

Date: 12/21/2023 10:53am User: mjadloch Project Manager: BCE  
Drawing Path: J:\2023\0200\230215\Civil\3D-230215\Draw\Plots\Site Plans\GDT-PLT-230215.dwg | C-501.1  
XREF File(s): CBS-BASE-2436--230215\NSL-BASE-230215

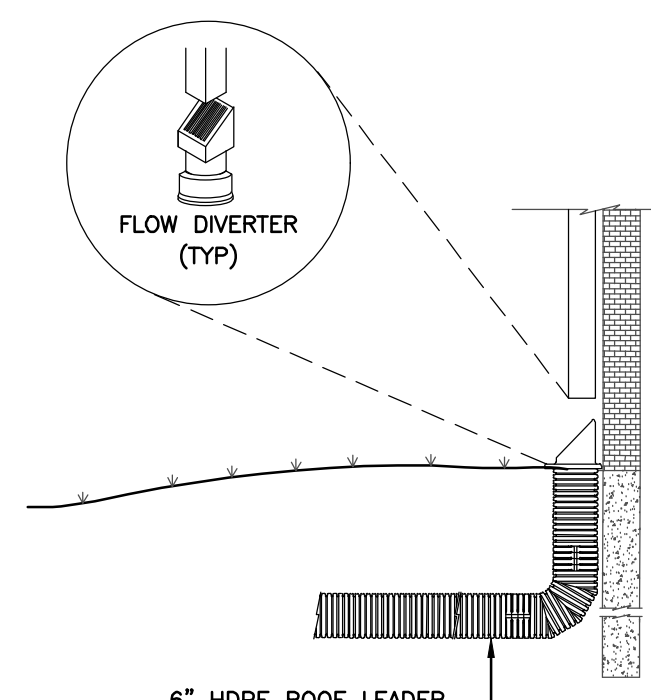
DRAINAGE AREA	TYPE OF ESD PRACTICE	NAME OF ESD PRACTICE (STRUCTURE NAME)	ON-SITE OR OFF-SITE STRUCTURE	RUNOFF CURVE NUMBER (RCN) WEIGHTED	MARYLAND GRID COORDINATE NAD 83 METERS NORTHING	MARYLAND GRID COORDINATE NAD 83 METERS EASTING	ESD PRACTICE TOTAL DRAINAGE AREA (ACRES)	ESD PRACTICE IMPERVIOUS DRAINAGE AREA (ACRES)	SURFACE AREA OF ESD PRACTICE (ACRES)	TARGET PE (IN.)	ACTUAL PE (IN.)	TARGET ESDv (FT <sup>3</sup> )	ACTUAL ESDv (FT <sup>3</sup> )
1	M-6	MICRO-BIORETENTION	ON-SITE	-	405846.20	1572388.51	0.404	0.349	0.017	-	-	2,514	2,256
2	M-6	PLANTER BOX	ON-SITE	-	405812.94	1582543.61	0.057	0.005	-	-	0	0	
3	N-2	NON-ROOFTOP DISCONNECT	ON-SITE	-	405947.99	1582421.17	0.009	0.009	0.009	-	-	0	32
TOTAL/AVERAGE				-	-	-	0.524	0.469	0.031	-	-	2,514	2,807

\* TOTAL SITE TARGET FOR DEVELOPMENT  
 \*\* EXISTING ROOF AREA IS NOT BEING TREATED PRESENT DAY AND THERE IS NO ESDv REQUIREMENT AS THE AREA PRE-DATES CURRENT STORMWATER REGULATIONS. ESDv PROVIDED BY PLANTER BOXES WILL PROVIDE ADDITIONAL ON-SITE TREATMENT SO THAT THE PROPOSED DEVELOPMENT MEETS THE SITE TARGET.

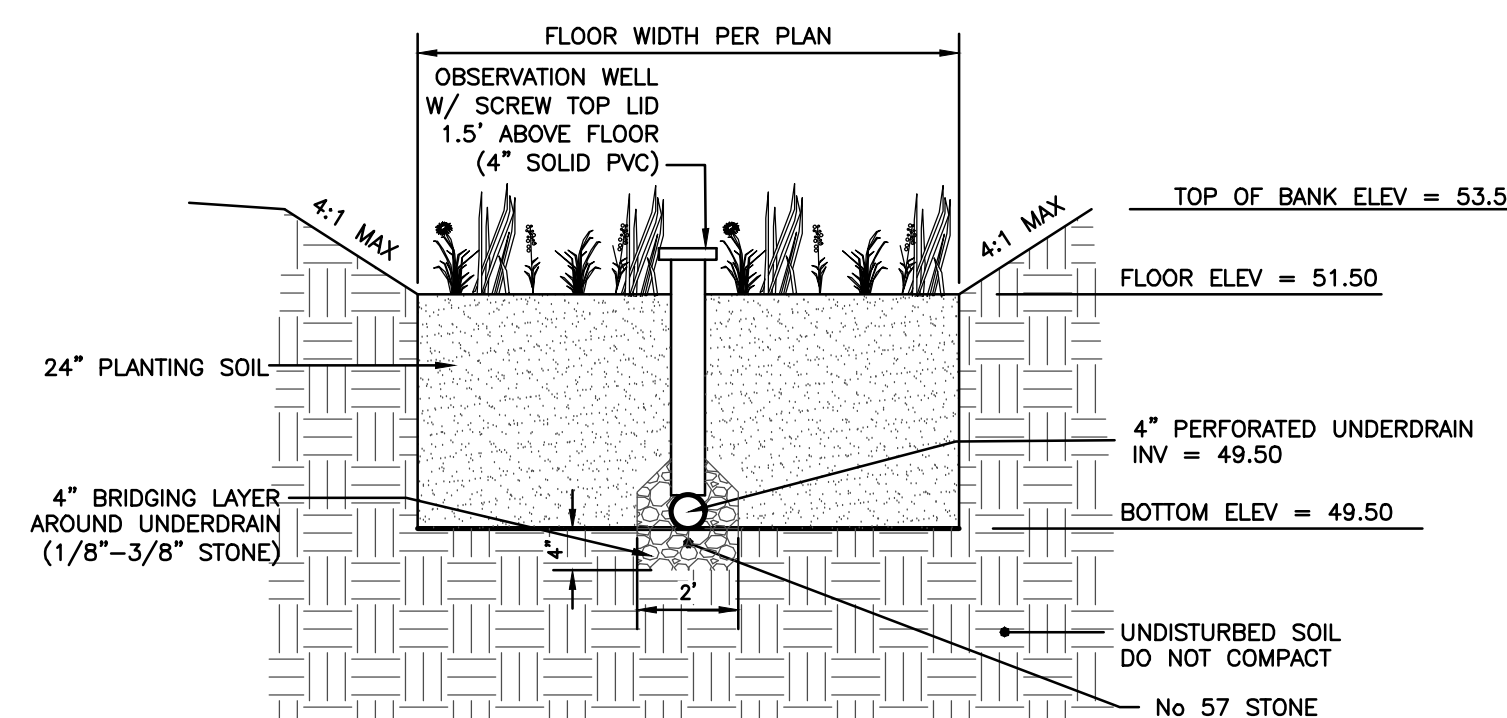
Appendix B.4. Construction Specifications for Environmental Site Design Practices

Table B.4.1 Materials Specifications for Micro-Bioretenion, Rain Gardens & Landscape Infiltration-

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile	AASHTO M-43	n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe, 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; f <sub>c</sub> = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



- ROOF LEADER FROM DOWNSPOUT DETAIL NOT TO SCALE**
- ALL ROOF DRAIN PIPING TO BE 6" ADS N-12 DUAL WALL HDPE
  - ALL INJECTION MOLDED FITTINGS TO BE WATER TIGHT WITHIN 10' OF BUILDING FOUNDATION
  - CONTRACTOR RESPONSIBLE FOR COORDINATION AND RIM ELEVATION ADJUSTMENTS WITH FINISHED GRADE.



- MICRO-BIORETENTION SECTION NOT TO SCALE**
- NOTES
- PLANTINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY
  - NO FILTER FABRIC IS USED IN THIS STRUCTURE
  - SEE TABLE B.4.1 FOR MATERIAL SPECIFICATIONS.

**CONSTRUCTION INSPECTIONS**

CALL THE TOWN OF EASTON ENGINEERING DEPARTMENT AT 410-820-8822 PRIOR TO CONSTRUCTION AND IMMEDIATELY FOLLOWING EACH OF THE FOLLOWING PHASES:

- CONSTRUCTION OF PLANTER WALLS AND UNDER DRAIN AND BEFORE BACKFILLING OVER LINER.
- INSTALLATION OF PLANT MATERIALS.

**CUT (TYP.)**

**LINEAR CUT/FOLD DETAIL**

**PLANTER CROSS SECTION**

APPROVAL: *[Signature]* TOWN ENGINEER, TOWN OF EASTON  
 DATE: 1/20/20  
 ISSUED: JANUARY 2020 STANDARD NO: TOE-SWM-501-1

**CONSTRUCTION INSPECTIONS**

NOTE: ALL DIMENSIONS ARE INTERIOR

**PLAN VIEW**

**TIMBER PLANTER**

**MASONRY PLANTER**

**STONE PLANTER**

APPROVAL: *[Signature]* TOWN ENGINEER, TOWN OF EASTON  
 DATE: 1/20/20  
 ISSUED: JANUARY 2020 STANDARD NO: TOE-SWM-501-2

**PLANT SELECTION**

1. THE HOMEOWNER IS ENCOURAGED TO WORK WITH A REGISTERED LANDSCAPE ARCHITECT OR NURSERY TO CREATE AN ATTRACTIVE AND FUNCTIONAL MIX OF NATIVE PLANT SPECIES THAT ARE TOLERANT OF BOTH SATURATED AND DRY CONDITIONS.

2. INFORMATION ON APPROPRIATE SPECIES IS AVAILABLE BY TYPING "NATIVE PLANTS" INTO YOUR FAVORITE SEARCH ENGINE.

3. THE SCHEDULE AND TYPICAL DETAIL BELOW CAN BE USED AS A BASIS FOR PLANT SELECTION AND GROUPINGS, IF DESIRED.

**FLOW-THROUGH PLANTER LANDSCAPE SCHEDULE**

BOTANICAL NAME	COMMON NAME	PLANTER SIZE (SQ. FT.)			
		70	140	210	280
SHRUBS:					
TEX SARGRA (MALE ONLY)	INKBERRY	2 GAL	PICK ONE	PICK TWO	PICK TWO
ARONIA MELANOCARPA	BLACK CHOKEBERRY	2 GAL	PICK ONE	PICK TWO	PICK TWO
MYRTICA CERIFERA	RAYBERRY	2 GAL	PICK ONE	PICK TWO	PICK TWO
GROUND COVER:					
ANDROSPOON VIRGINICUS	BROOMSDRICE	PLUG	3	4	6
LIATRIS SPICATA	BLAZING STAR	PLUG	0	2	3
SEMPERPARVA GLOBIFERUM	HENS & CHICKS	PLUG	3	4	6

**SOL SPECIFICATIONS**

- THE PLANTING SOIL SHALL HAVE A COMPOSITION OF 50% SAND, 20% COMPOSTED LEAVES, AND 30% TOPSOIL.
- TOPSOIL SHALL BE OF UNIFORM COMPOSITION, FREE OF STONES, DEBRIS, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN ONE INCH.
- TOPSOIL SHALL BE FREE OF PLANTS OR PLANT PARTS OF BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, MUHLENBERG, NUTCRACK, POISON IVY, CANADIAN THISTLE.

**MAINTENANCE CRITERIA:**

- WATER PLANTS LIBERALLY THE FIRST GROWING SEASON AND DURING PERIODS OF DROUGHT THEREAFTER.
- REMOVE ACCUMULATED TRASH AND VEGETATIVE DEBRIS EVERY FEW MONTHS.
- PRUNE AND REMOVE DEAD VEGETATION PERIODICALLY. AS WITH ANY LANDSCAPE BED, IF SPECIFIC PLANTS ARE NOT SURVIVING, REPLACE WITH A DIFFERENT SPECIES. WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS.
- SILT AND SEDIMENT SHOULD BE REMOVED FROM THE SURFACE OF THE FILTER BED WHEN ACCUMULATION EXCEEDS ONE INCH.
- THE TOPSOIL AND FILTER MEDIA SHOULD BE REMOVED AND REPLACED WHEN WATER POUNDS FOR MORE THAN 48 HOURS. EXISTING PLANT MATERIAL CAN BE TEMPORARILY REMOVED AND RE-PLANTED IN THE NEW SOIL.

**SIZING CHART**

TREATED AREA (SQ. FT.)	PLANTER AREA (SQ. FT.)	SUGGESTED INTERIOR DIMENSIONS
250	10	4 x 3
500	20	7 x 3
750	30	8 x 4
1000	40	10 x 4

APPROVAL: *[Signature]* TOWN ENGINEER, TOWN OF EASTON  
 DATE: 1/20/20  
 ISSUED: JANUARY 2020 STANDARD NO: TOE-SWM-501-3

**CONSTRUCTION INSPECTIONS**

NOTE: EXPANSION ANCHORS MAY BE USED INSTEAD OF BOLTS.

**GENERAL NOTES**

- CONCRETE TO BE MIX WITH 14500 PSI.
- REINFORCING-2 LAYERS OF #4-#6 OR #4-#6 WELDED FIRE FABRIC.
- FIBERGLASS PLASTIC INSERTS TO BE PROVIDED FOR HANDLING.
- GRATING SHALL BE STEEL "TYPING 1-BAR TYPE A" OR APPROVED EQUIVALENT. ALL MATERIAL TO BE HOT DIPPED GALV.
- GRADE AND SLOPE ADJUSTMENTS TO BE COMPLETED IN THE FIELD USING CONG. 48# M&B OR BRICK AND MORTAR.
- PLACEMENT OF SUBGRADE DRAINAGE SHALL BE AS DIRECTED BY THE ENGINEER OR AS NOTED ON THE PLANS.
- MINIMUM DEPTH PAYMENT PER "TEACH" INLET INCLUDES, DEPTH UP TO 3'-4" MEASURED FROM THE PIPE INVERT TO THE TOP OF THE GRATE. VERTICAL DEPTH PAYMENT PER LINEAR FOOT FOR DEPTH IN EXCESS OF 3'-4".
- INVERT TO BE CONCRETE OR BRICK AND SHALL SLOPE 2" PER FOOT TOWARD DOWNSPOUT OR AS DIRECTED BY THE ENGINEER. LAVER PROVIDED IN THE FIELD.

**SECTION A-A**

**SECTION B-B**

**PRECAST YARD INLET STANDARD NO. MD 381.02**

**REVISIONS TO APPROVED PLANS**

No.	DATE	DESCRIPTION	BY

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**MISS UTILITY**

BEFORE YOU DIG CALL 1-800-441-3555 OR 911 PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

**Lane Engineering, LLC**

Established 1986

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 15 Washington St. Centerville, MD 21613 (410) 221-0818  
 354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 48188, Expiration Date: 12/28/2023

*[Signature]*  
 12-21-23 DATE

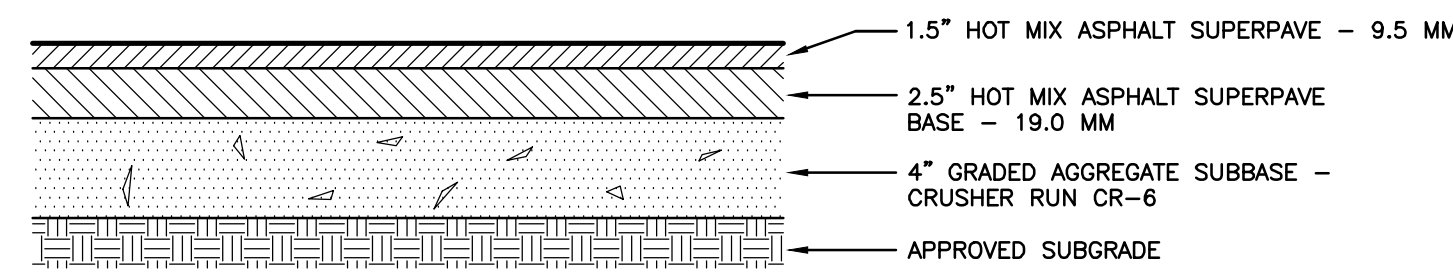
**STORMWATER MANAGEMENT DETAILS**

FOR ST. VINCENT DE PAUL

IN THE TOWN OF EASTON TALBOT COUNTY, MARYLAND TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR: ESOR SUBMITTAL, PLANNING COMMISSION, SITE PLAN REVIEW  
 DATE: 08/01/23 BCE, 08/28/23 BCE, 12/21/23 BCE

SHEET No. C-502  
 SCALE: AS NOTED  
 JOB No. 230215  
 FILE No. 3248



**ASPHALT PAVEMENT CROSS-SECTION REGULAR DUTY NOT TO SCALE**

**ASPHALT PAVEMENT NOTES:**

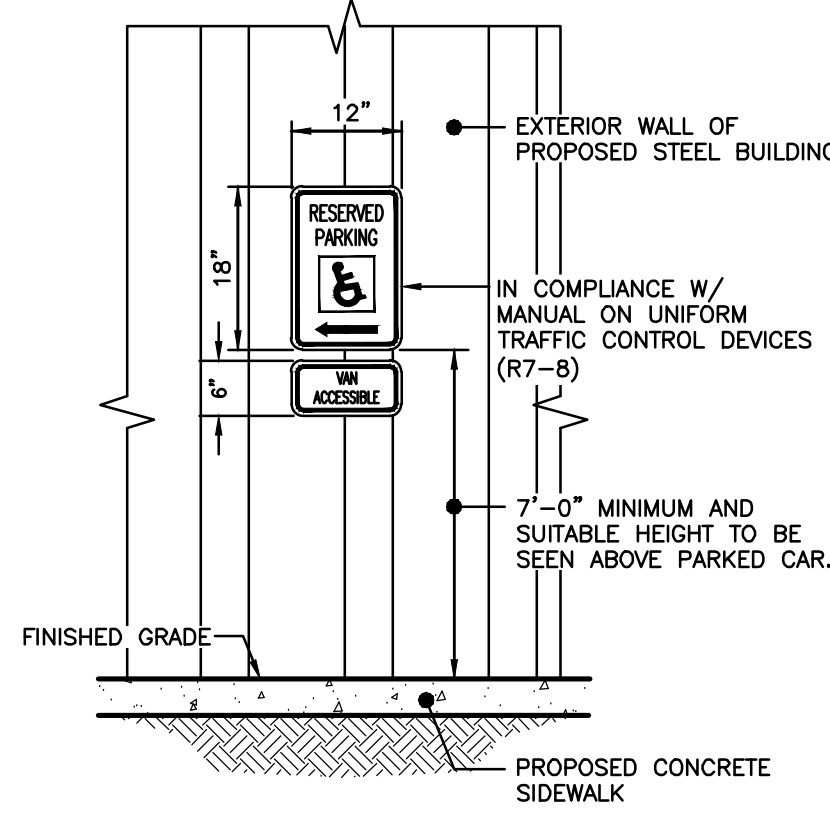
1. THE CONTRACTOR SHALL PROVIDE AN APPROVED COMPACTED SUBGRADE PRIOR TO THE PLACEMENT OF ANY FILL MATERIALS.
2. THE SUBGRADE SHALL BE UNDERCUT AS NEEDED WITH THE PRIOR APPROVAL OF THE OWNER OR ENGINEER, AND BACKFILLED WITH APPROVED STRUCTURAL FILL.
3. THE SUBGRADE IS TO BE INSPECTED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO THE INSTALLATION OF THE AGGREGATE BASE AND THE ASPHALT PAVING MIX.
4. ALL FILL MATERIALS SHALL BE PLACED IN LIFTS NO GREATER THAN 8" AND COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557 OR ASTM D-2922).
5. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE COMPLETION OF SITE AND BUILDING CONSTRUCTION, AS APPLICABLE.
6. THIS PAVING DETAIL IS NOT BASED UPON A GEOTECHNICAL EVALUATION. THIS PAVING DETAIL PROVIDES A TYPICAL SPECIFICATION IN THE ABSENCE OF A SPECIFIC GEOTECHNICAL EVALUATION. DEVELOPER IS ADVISED TO HAVE A QUALIFIED GEOTECHNICAL ENGINEER EVALUATE SITE CONDITIONS AND PROVIDE A RECOMMENDED PAVING SECTION AND SPECIFICATION.

**THERMOPLASTIC PAVEMENT MARKINGS NOTES:**

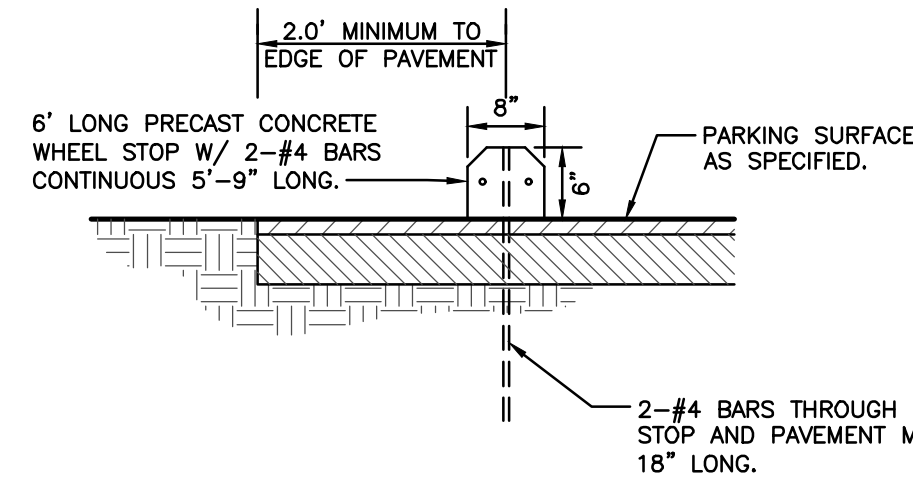
1. MARKING SHALL BE CONSTRUCTED UTILIZING A DURABLE PAVEMENT MARKING TAPE.
2. NOMINAL THICKNESS OF PAVEMENT MARKING TAPE SHALL BE 0.065".
3. PAVEMENT MARKING TAPE SHALL BE ABRASION RESISTANT.
4. THE AVERAGE SKID RESISTANCE SHALL BE 45SPN WHEN MEASURED IN ACCORDANCE WITH ASTM E303.
5. PAVEMENT MARKING TAPE SHALL NOT BE APPLIED EXCEPT BETWEEN MAY 15 AND SEPTEMBER 15. OUT OF SEASON, WHEN THE ROAD SURFACE TEMPERATURES AND AMBIENT AIR TEMPERATURES ARE ABOVE 40°F, THE LOCAL JURISDICTION MAY APPROVE APPLICATION IF ADDITIONAL ADHESIVES ARE UTILIZED.
6. THE PAVEMENT SURFACE SHALL BE CLEANED WITH A BROOM AND HIGH PRESSURED BLOWER BEFORE APPLYING TAPE.
7. PAVEMENT MARKING TAPE SHALL NOT BE APPLIED TO WET SURFACES.
8. APPLICATION OF MARKING TAPE SHALL BE AS APPROVED BY THE MANUFACTURER. PROCEDURE FOR APPLICATION SHALL BE SUBMITTED TO THE LOCAL JURISDICTION FOR REVIEW.

**PAINT PAVEMENT MARKINGS NOTES:**

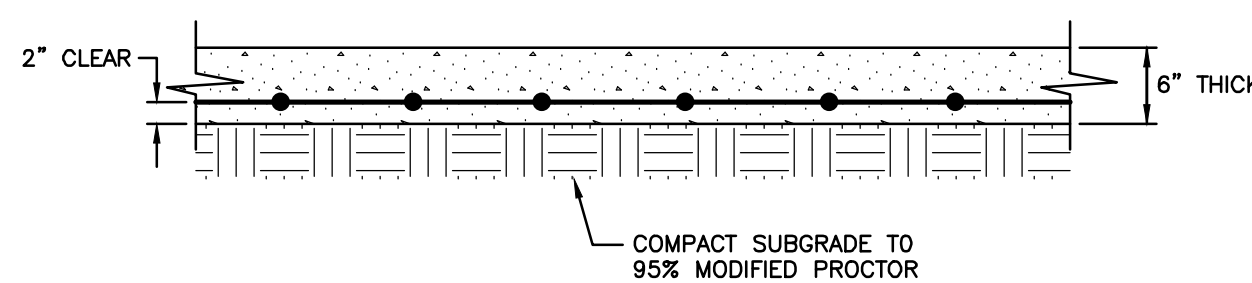
1. IMMEDIATELY BEFORE APPLYING THE PAVEMENT MARKING PAINT TO THE PAVEMENT, THE CONTRACTOR SHALL INSURE THE SURFACE IS DRY AN ENTIRELY FREE FROM DIRT, SAND, GREASE, OIL, OR OTHER MATTER WHICH WOULD PREVENT EFFECTIVE ADHESION OF THE PAINT TO THE PAVEMENT.
2. THE SURFACE TEMPERATURE OF THE PAVEMENT SHALL BE A MINIMUM OF 5° (40°F).
3. WHEN PAINT MUST BE APPLIED BETWEEN THE DATES OF OCTOBER 15 THROUGH APRIL 15 INCLUSIVE OR ON PAVEMENT WITH A SURFACE TEMPERATURE BELOW 5° (40°F), COLD WEATHER PAINT CAN BE USED WHICH DOES NOT EXCEED EPA'S FEDERAL REGISTER/RULES AND REGULATIONS (40 CFR PART 59 [AD-FRL-6149-7] RIN 2080-AE35), AS AMENDED, FOR VOC CONTENT LIMIT AND SHALL MEET THE AASHTO M248 F AND REQUIREMENTS NOTED BELOW. THESE PRODUCTS SHALL BE APPROVED ACCORDING TO THE MANUFACTURER'S REQUIREMENTS.
4. THE COLD WEATHER PAINT SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
  - a. PROPERTY TEST METHOD REQUIREMENT
  - b. DRY OPACITY (CONTRAST RATIO) ASTM D2244 - WITH A WET FILM THICKNESS OF 18 ± 1 MILS
  - c. VOC ASTM D3960 150 G/L (1.25 LB/GAL) MAX
  - d. DRYING TIME ASTM D7111 WITH WET FILM THICKNESS OF 15 MILS 15 MINUTES MAX @ 25° C (77°F).
5. PAINTED LANE LINES, EDGE LINES, AND CENTERLINES SHALL HAVE A MINIMUM RETROREFLECTIVITY OF 250 MILLICANDELAS.
6. PAINT SHALL BE MARYLAND FAST DRY WATERBORNE TRAFFIC PAINT, LEAD FREE BY SHERMAN WILLIAMS OR APPROVED EQUAL. (FEDERAL STANDARD 595-38907 YELLOW OR 37925 WHITE).
7. PAVEMENT MARKINGS SHALL BE WARRANTED FOR A MINIMUM OF TWO YEARS.



**WALL MOUNTED VAN ACCESSIBLE ADA PARKING SIGN DETAIL NOT TO SCALE**



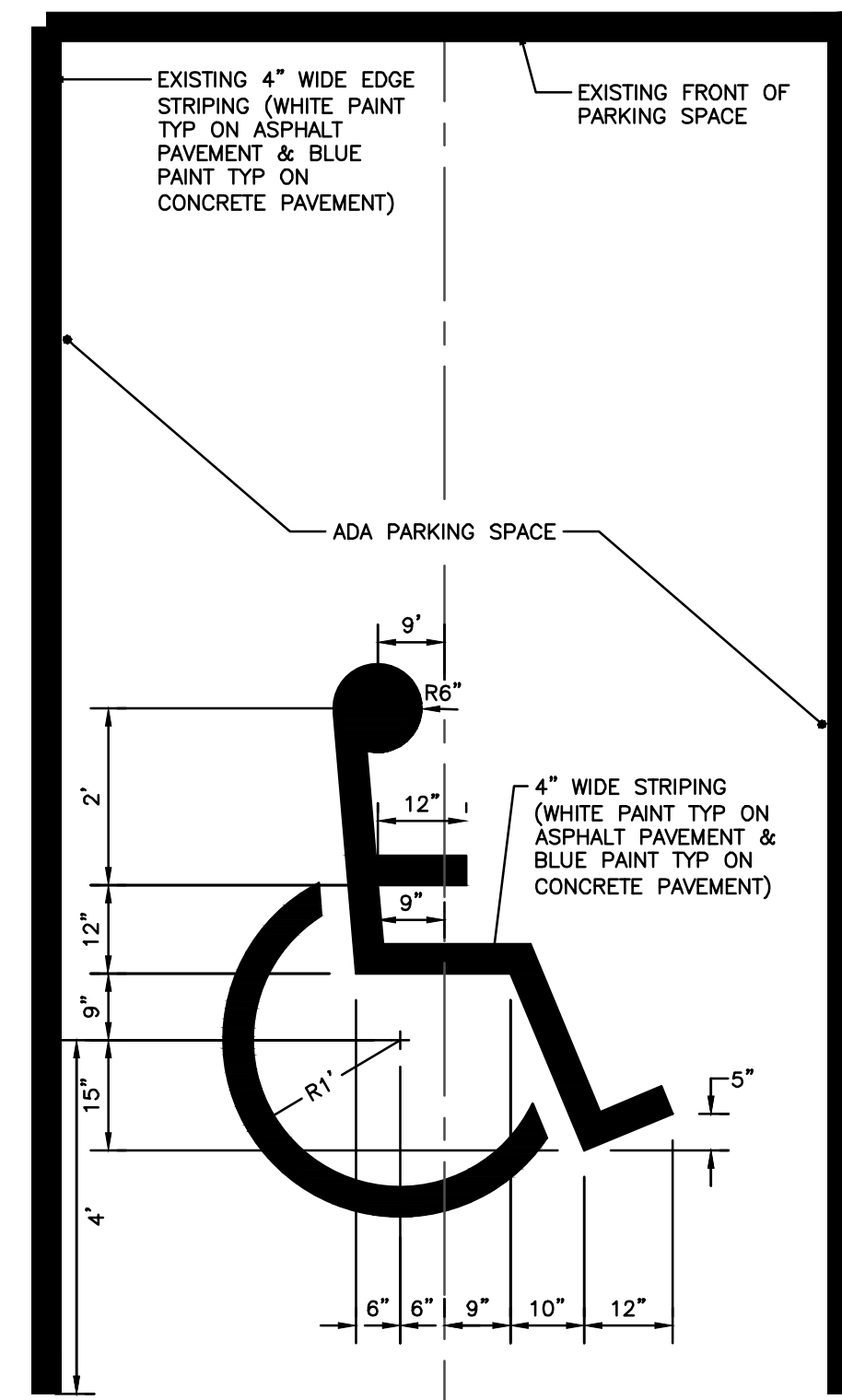
**CONCRETE WHEEL STOP DETAIL NOT TO SCALE**



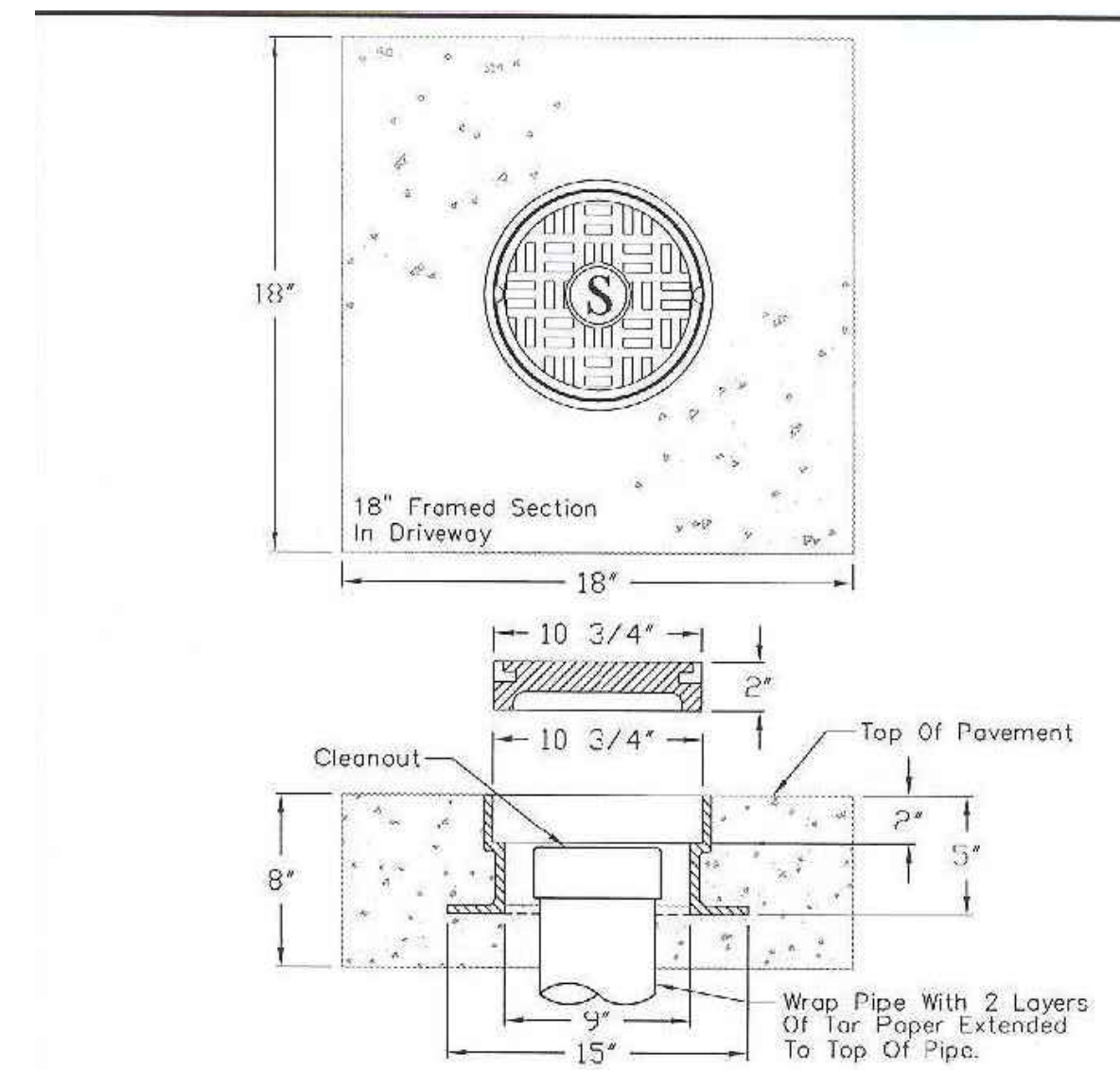
**NOTES:**

1. CONCRETE SHALL BE SHA MIX NO. 3.
2. REINFORCING SHALL BE 6"x6" - W1.4 X W1.4 WWF.

**HEAVY DUTY CONCRETE SIDEWALK CROSS-SECTION DETAIL NOT TO SCALE**



**STANDARD ADA PAVEMENT MARKING SYMBOL DETAIL NOT TO SCALE**



**Notes:**

1. All Castings Shall Conform To ASTM A48-76 Class 35B Iron Minimum.
2. Casting Shall Have Ground Or Machined Bearing Surfaces.
3. Casting Shall Be Of Uniform Quality, Free From Blow Holes, Porosity, Hard Spots, Shrinkage Defects, Or Other Injurious Defects.
4. Casting Shall Be Heavy Duty Roadway Type.
5. Casting Shall Be MBX-348 As Manufactured By Sigma Corporation, 700 Goldman Drive, Cream Ridge, NJ 08514, Or An Approved Equal.
6. Assembly To Be Used In Roadways, Sidewalks, Driveways And All Other Paved Areas.

APPROVAL	REVISED	TOWN OF EASTON AND EASTON UTILITIES COMMISSION STANDARD DETAILS DRIVEWAY CLEANOUT COVER
<i>Redmond Eng</i> TOWN ENGINEER DATE 1/16/20		
ISSUED: NOV. 1, 2007		STANDARD NO. SS-4.04

REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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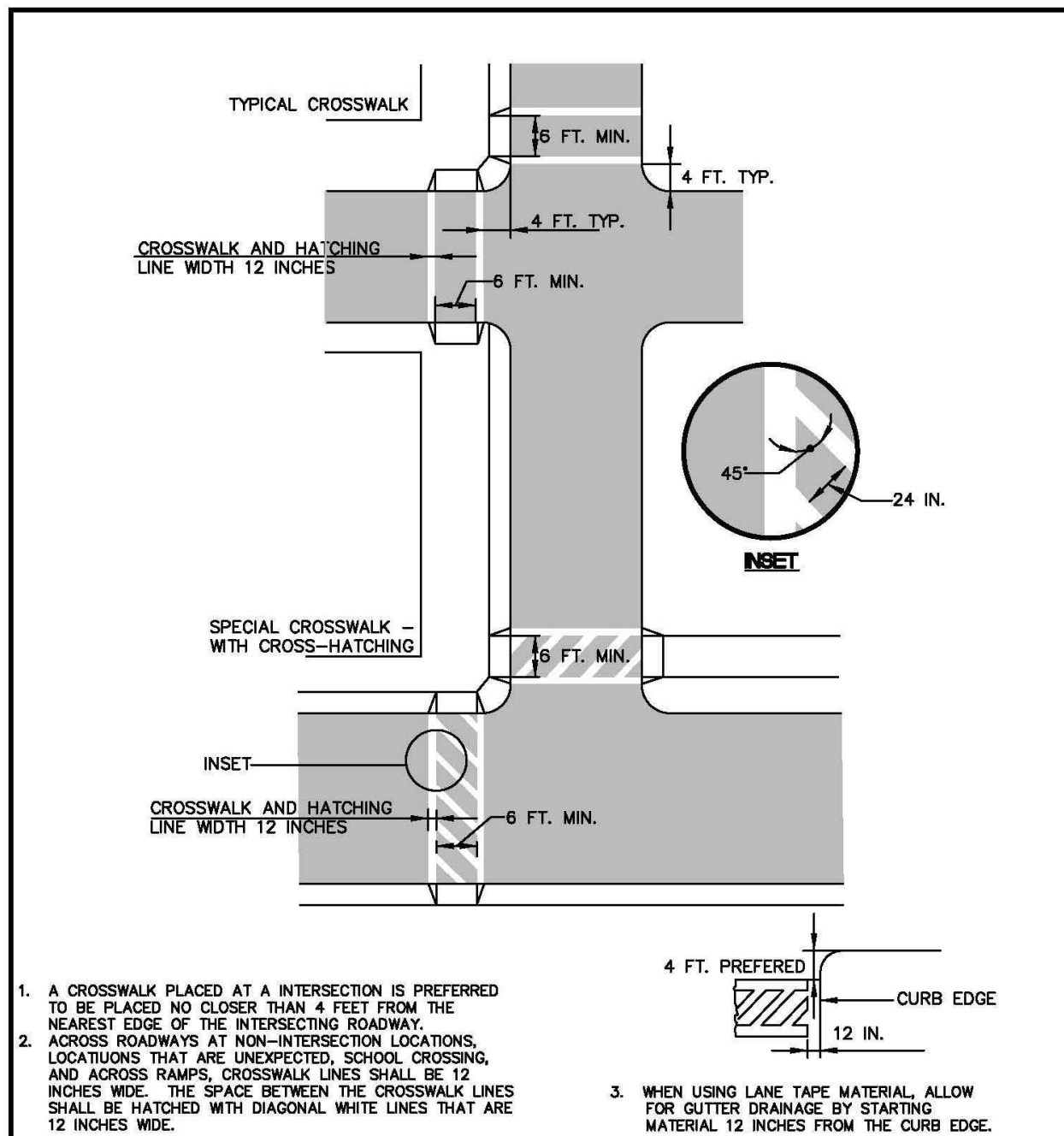
**SEWER & SITE DETAILS**

FOR ST. VINCENT DE PAUL

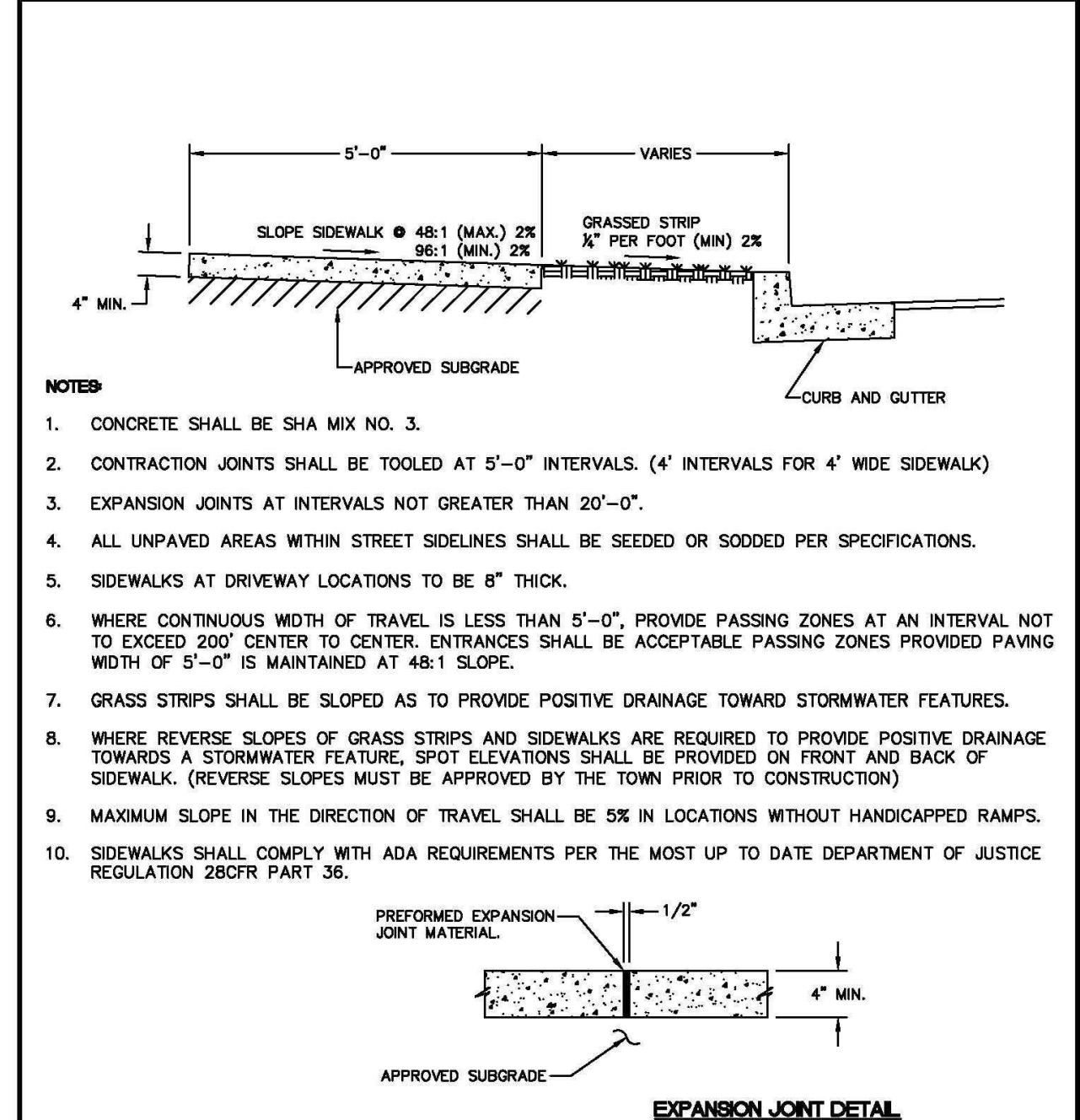
IN THE TOWN OF EASTON  
TALBOT COUNTY, MARYLAND  
TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR: ESDR SUBMITTAL PLANNING COMMISSION SITE PLAN REVIEW	DATE: 08/01/23 BCE 08/28/23 BCE 12/21/23 BCE	BY: 
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SHEET No. <b>C-503</b>	JOB No. 230215
SCALE: <b>AS NOTED</b>	FILE No. 3248



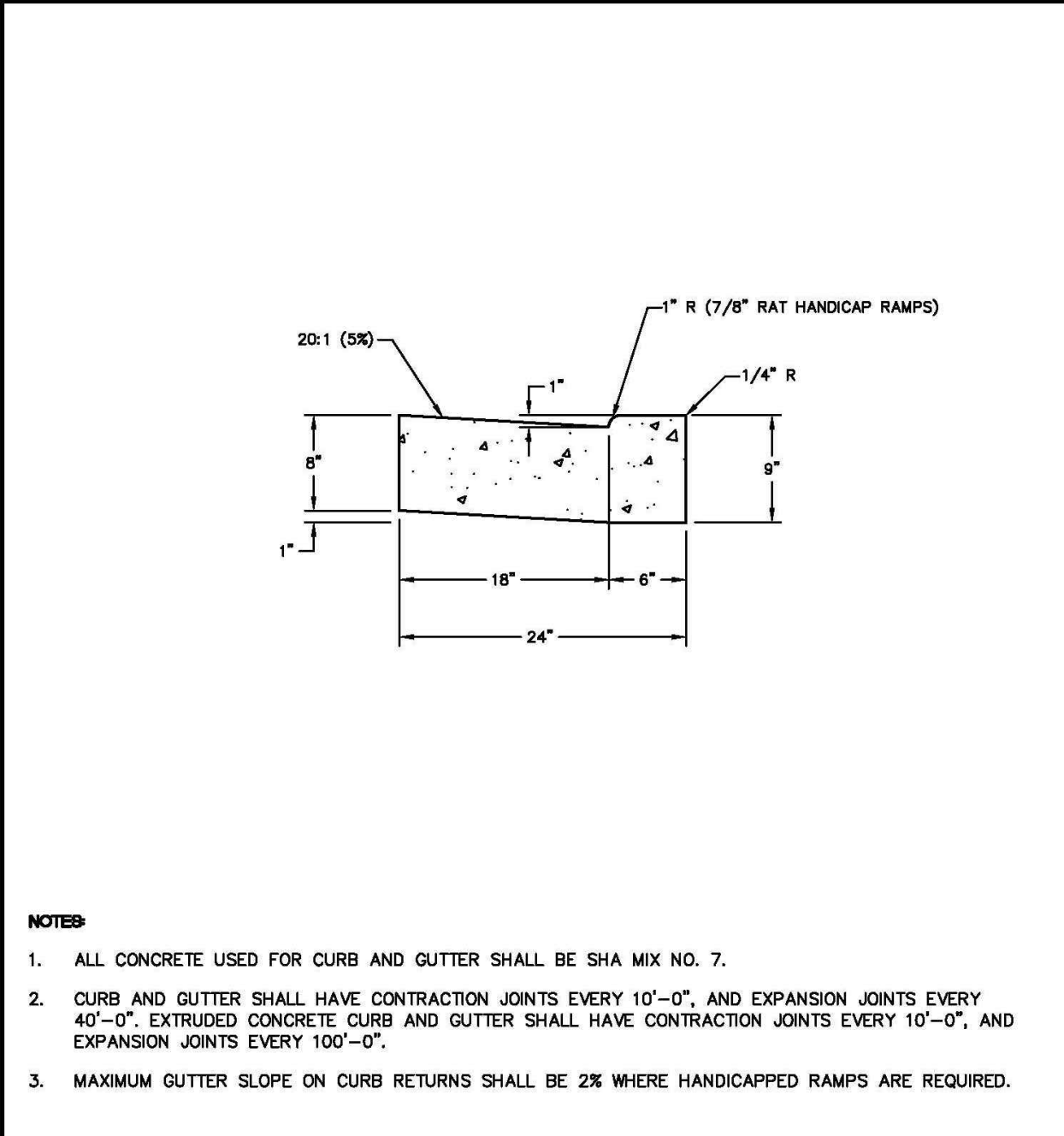
<b>APPROVAL</b> <i>Redmond Eng</i> TOWN ENGINEER DATE 1/16/20	TOWN OF EASTON STANDARD DETAILS <b>CROSSWALK AND CROSSWALK LINES</b>
ISSUED: JANUARY 2020	STANDARD NO: TOE-R-8.02



<b>APPROVAL</b> <i>Redmond Eng</i> TOWN ENGINEER DATE 1/16/20	TOWN OF EASTON STANDARD DETAILS <b>CONCRETE SIDEWALK</b>
ISSUED: JANUARY 2020	STANDARD NO: TOE-R-7.01

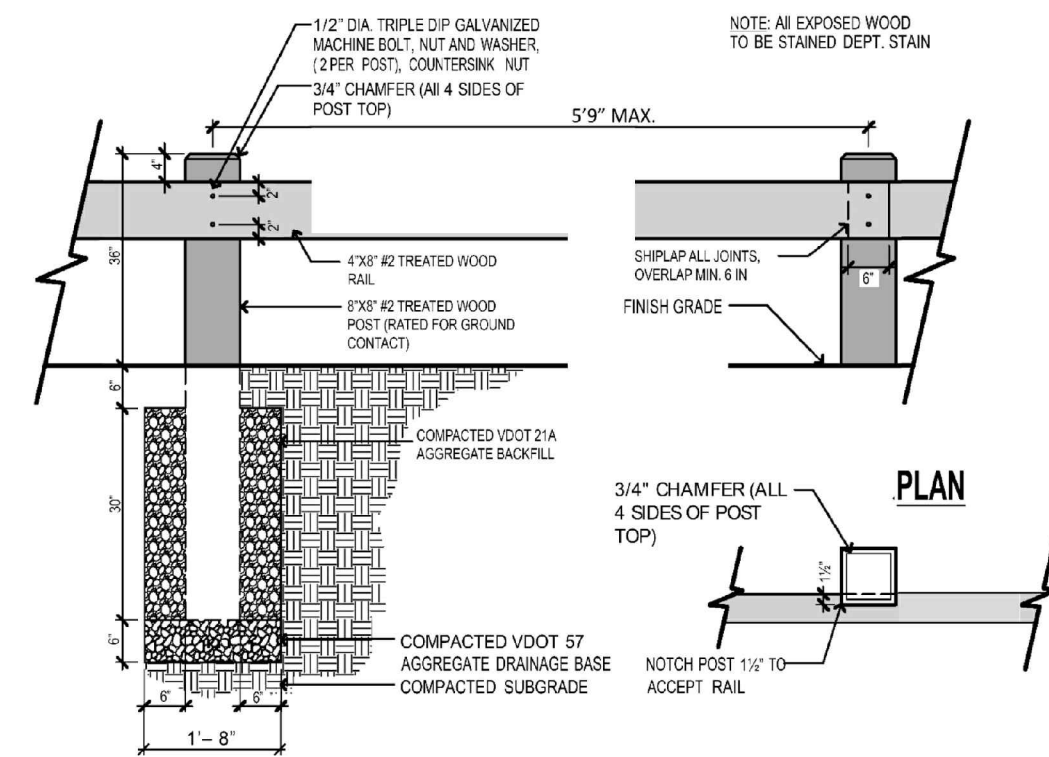
OVERLAY	SURFACE COURSE	SUB BASE
HMA SUPERPAVE 9.5 MM, PG 64-22LEVEL 2, FOR 1-1/2" OVERLAYS.	4" HOT MIX ASPHALT SUPERPAVE 9.5 MM	4" CR-6 GRADED AGGREGATE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.
HMA SUPERPAVE 12.5 MM, PG 64-22LEVEL 2, FOR 2" OVERLAYS.	4" HOT MIX ASPHALT SUPERPAVE 19.0 MM PLACED IN 2-2" LIFTS.	4" CR-6 GRADED AGGREGATE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.
COMMERCIAL ASPHALT PAVEMENT FOR ROADS	SURFACE COURSE: 2" HOT MIX ASPHALT SUPERPAVE 9.5 MM	2" CR-6 GRADED AGGREGATE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.
RESIDENTIAL ASPHALT PAVEMENT FOR ALLEYS	SURFACE COURSE: 2" HOT MIX ASPHALT SUPERPAVE 9.5 MM	2 1/2" HOT MIX ASPHALT SUPERPAVE, 19.0 MM
CONCRETE PAVEMENT	8" PORTLAND CEMENT CONCRETE MIX#7.	SUB BASE: 6" CR-6 GRADED AGGREGATE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.

<b>APPROVAL</b> <i>Redmond Eng</i> TOWN ENGINEER DATE 1/16/20	TOWN OF EASTON STANDARD DETAILS <b>PAVING SPECIFICATIONS</b>
ISSUED: JANUARY 2020	STANDARD NO: TOE-R-1.01



<b>APPROVAL</b> <i>Redmond Eng</i> TOWN ENGINEER DATE 1/16/20	TOWN OF EASTON STANDARD DETAILS <b>STANDARD DEPRESSED CURB AND GUTTER FOR SIDEWALK RAMPS</b>
ISSUED: JANUARY 2020	STANDARD NO: TOE-R-6.03

Date: 12/21/2023 - 10:53am User: mjadloch Project Manager: BCE  
Drawing Path: J:\2023\230215\Civil\3D-230215\Draw\Plan\Site Plans\GDT-PLT5-230215.dwg | C-503  
XREF File(s): CBS-BASE-2436-230215\HSI-BASE-230215



**GUARDRAIL DETAIL**  
NOT TO SCALE

- Dimensions**
- Guardrail posts shall be 8" x 8" x 6' lumber, 3/4" chamfer on all four (4) sides of post top and notched 1 1/2" D to accept rails
  - Guardrail rails shall be 4" x 8" x 12' with 8" rail/hip/joint points

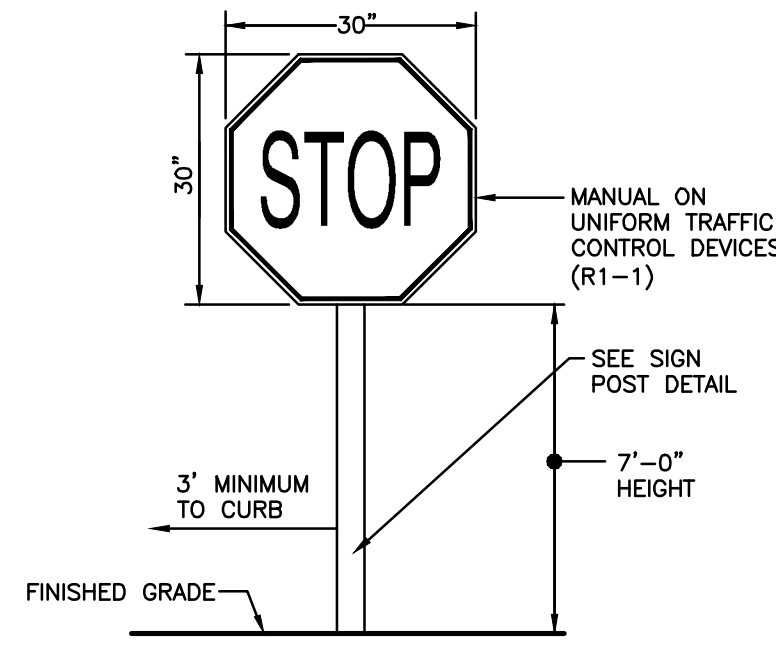
- Quality/Material/Composition**
- Wooden guardrail posts and rails shall be of grade #1 SYP (Southern Yellow Pine)
  - Lumber shall have preservation standards approved by AWPA (American Wood Protection Association), pressure treated with MCO (Micronized Copper Quaternary)
  - Pressure treated posts shall contain a chemical retention level of .40 or equivalent for in ground contact
  - Pressure treated rails shall contain a chemical retention level of .20 or equivalent for above ground use

- Hardware/Fasteners**
- All bolts, nuts, washers and fasteners shall be triple dipped galvanized or stainless steel

- Color/Finish**
- Guardrail stained using Department standard cedar tone stain or equivalent

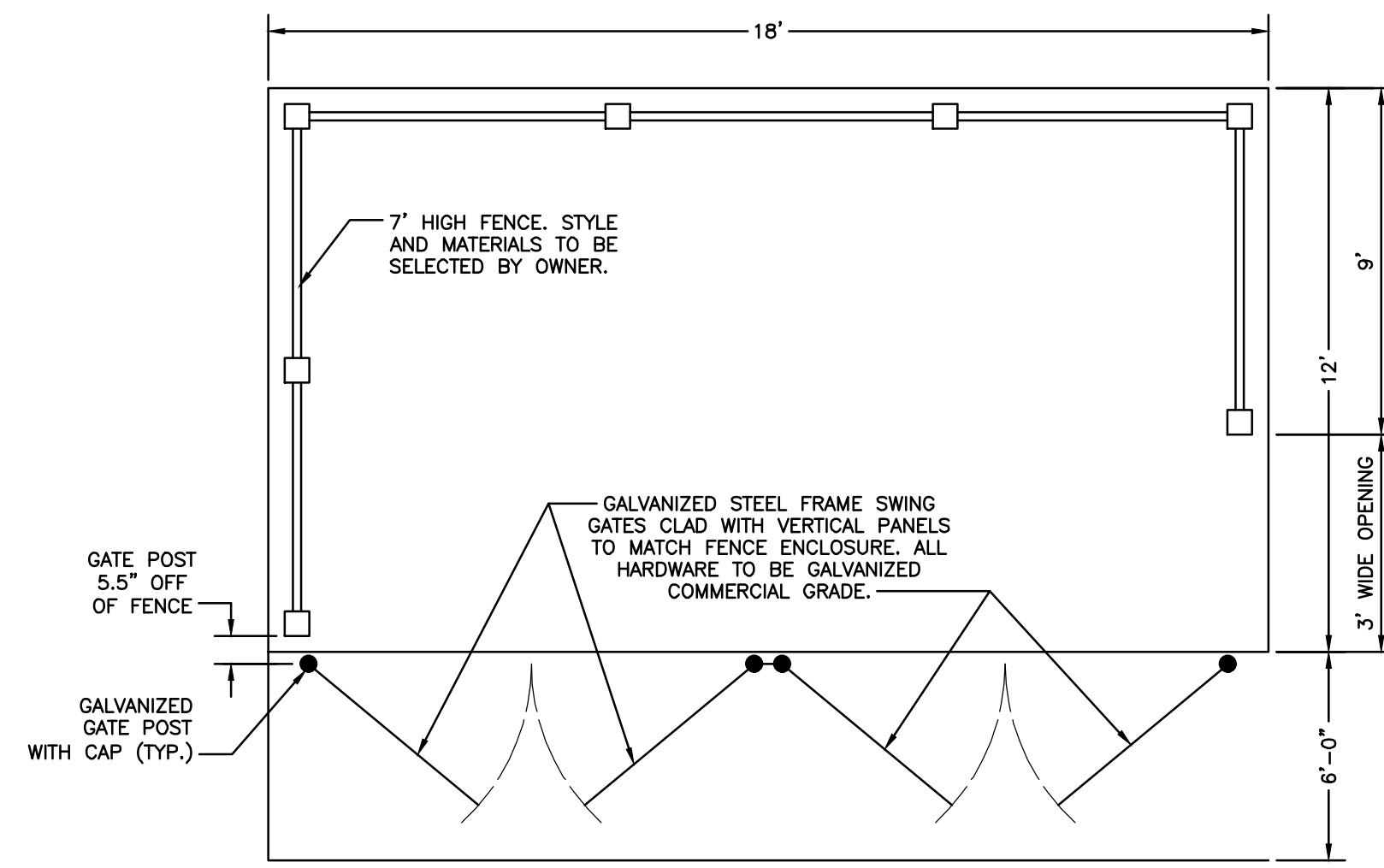
- Installation**
- Guardrail shall be installed a minimum of 2' from edge of paved/graveled surface, and preferably no more than 4'
  - Posts shall be installed on 5' 9" centers, 3' deep in ground in 1' 8" wide x 3' 6" deep hole on compacted subgrade and then 6" of compacted VDOT 57 aggregate drainage base, surrounded by compacted VDOT 21A aggregate backfill as per drawing
  - Bottom of rail shall be approximately 24" above finish grade with height of finished rail at approximately 32" above ground surface level
  - Rails shall be installed 4" below top of posts, using two (2) 1/2" D x 12" stainless steel carriage bolts with 1" nuts and washers on each bolt (one (1) 2" from top of rail and one (1) 2" from bottom of rail) as per drawing

**GUARDRAIL SPECIFICATIONS**  
NOT TO SCALE



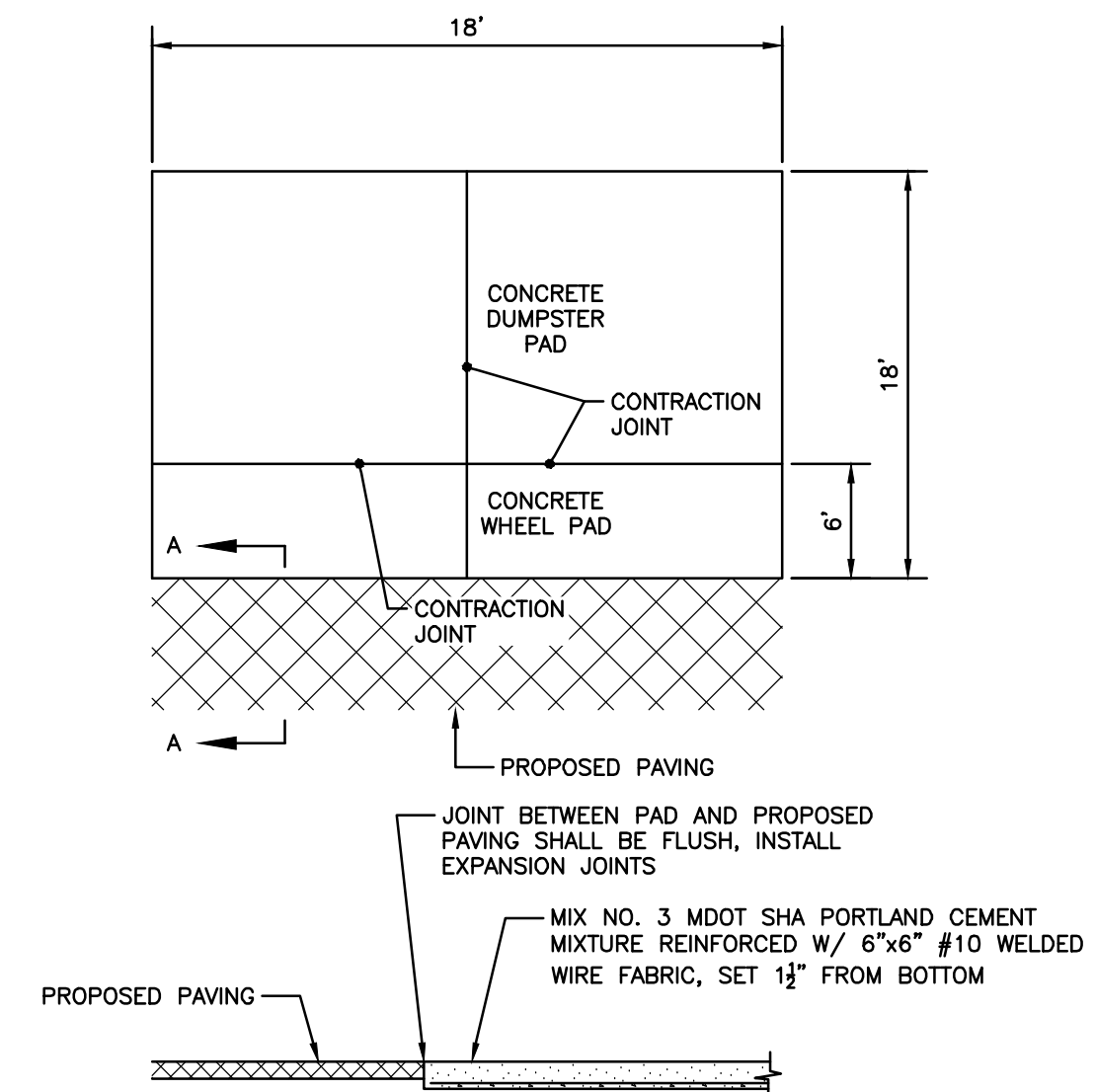
**STOP SIGN DETAIL**  
NOT TO SCALE

- NOTES:**
- ALL PROPOSED SIGNS MUST MEET THE MINIMUM REQUIREMENTS FOR RETROREFLECTIVITY SET FORTH BY THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, MOST CURRENT EDITION.
  - REFER TO THE MARYLAND STATE HIGHWAY ADMINISTRATION "STANDARD BOOK" FOR THE DIMENSIONS AND COLORS OF STOP SIGN.



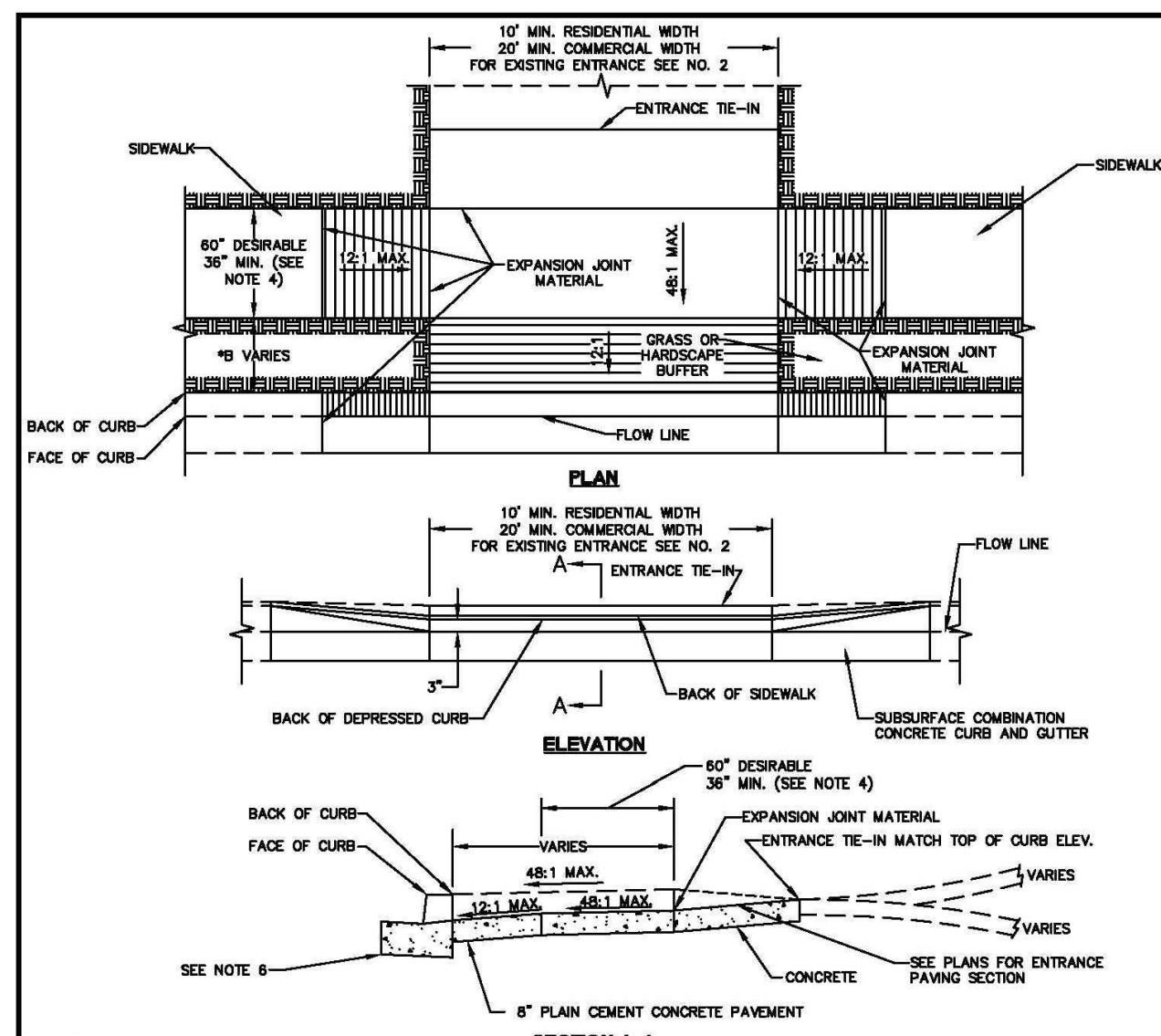
**DUMPSTER ENCLOSURE DETAIL**  
NOT TO SCALE

NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR GATES PRIOR TO CONSTRUCTION.



**CONCRETE DUMPSTER PAD DETAIL**  
NOT TO SCALE

MIX NO. 3 MDO SHA PORTLAND CEMENT MIXTURE REINFORCED W/ 6"x6" #10 WELDED WIRE FABRIC, SET 1 1/2" FROM BOTTOM



- NOTES:**
- FOR USE IN AREAS WHERE THERE IS SIDEWALK SEPARATED FROM THE BACK OF CURB BY 24" OR MORE, OR WHERE IT IS EXPECTED THAT SIDEWALK WILL BE ADDED IN THE FUTURE.
  - WHEN AN EXISTING ENTRANCE IS LESS THAN 20" IN WIDTH A UNIFORM TAPER SHALL BE CONSTRUCTED TO THE INTO THE EXISTING ENTRANCE AS DIRECTED BY TOWN ENGINEER.
  - EXPANSION JOINT MATERIAL TO BE INSTALLED IN ACCORDANCE WITH TOE-R-8.01.
  - WHERE 60" SIDEWALK CANNOT BE PROVIDED, 36" MIN. MAY BE USED AS LONG AS PASSING ZONES ARE PROVIDED.
  - TRANSITION PANELS TO BE INTO EXISTING SIDEWALK MUST BE A MINIMUM OF 5' IN LENGTH.
  - MEDIAN CURB AND GUTTER IN ACCORDANCE WITH TOE-R-8.04.

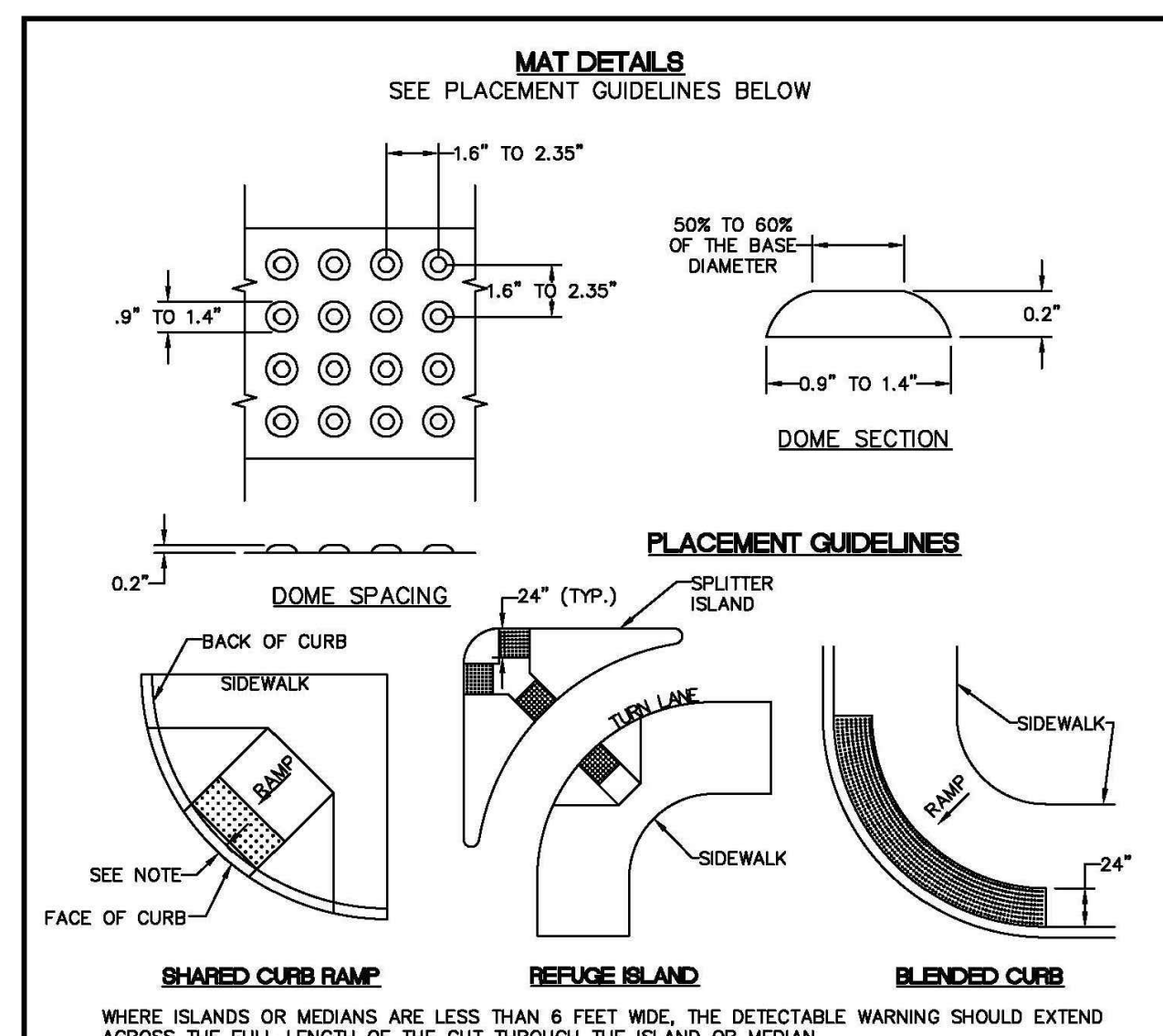
**APPROVAL**

*Richard K. Engel*  
TOWN ENGINEER

**TOWN OF EASTON**  
STANDARD DETAILS  
RESIDENTIAL AND COMMERCIAL  
ENTRANCE #2

DATE: 1/2020

ISSUED: JANUARY 2020 STANDARD NO.: TOE-R-4.02



- NOTES:**
- THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 TO 8 INCHES FROM THE FACE OF CURB.
  - FOR SKIMMED APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOMES CLOSEST TO THE BACK OF CURB ARE NO LESS THAN 0.5" AND NO MORE THAN 3.0" FROM THE BACK OF CURB. TRUNCATED DOME SURFACES SHALL BE FABRICATED TO PROVIDE FULL DOMES ONLY.
  - DETECTABLE WARNING SURFACES SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 611 OF THE SPECIFICATIONS.
  - DETECTABLE WARNING SURFACES ARE REQUIRED AT STREET CROSSING AND SIGNALIZED INTERSECTIONS.

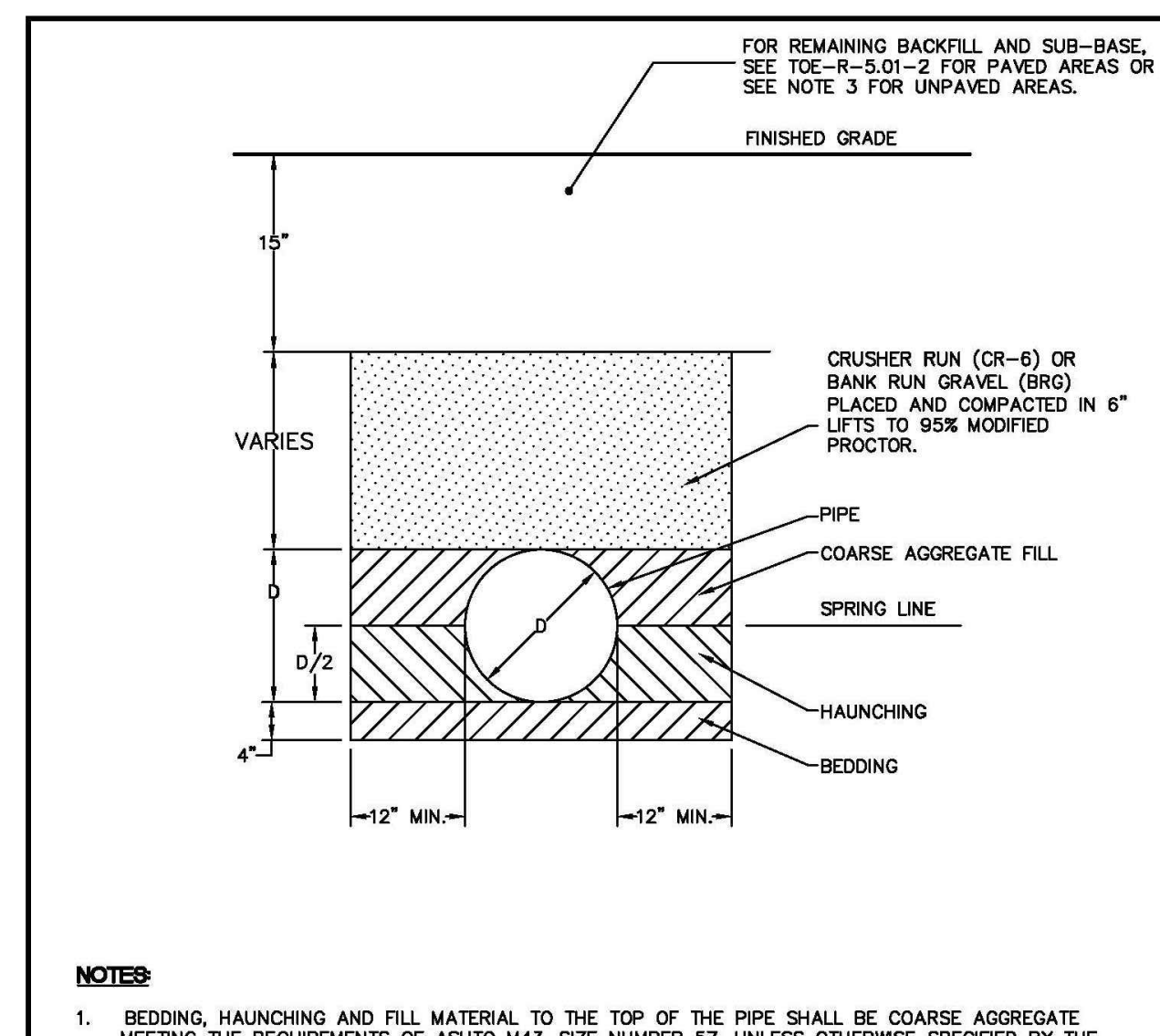
**APPROVAL**

*Richard K. Engel*  
TOWN ENGINEER

**TOWN OF EASTON**  
STANDARD DETAILS  
DETECTABLE WARNING SURFACES

DATE: 1/2020

ISSUED: JANUARY 2020 STANDARD NO.: TOE-R-7.08



- NOTES:**
- BEDDING, HAUNCHING AND FILL MATERIAL TO THE TOP OF THE PIPE SHALL BE COARSE AGGREGATE MEETING THE REQUIREMENTS OF ASHTO M43-SIZE NUMBER 57, UNLESS OTHERWISE SPECIFIED BY THE PIPE MANUFACTURER AND APPROVED BY THE TOWN ENGINEER.
  - DURING HAUNCHING, CONTRACTOR SHALL CAREFULLY WORK GRAVEL DOWN AROUND THE BOTTOM OF THE PIPE.
  - IN UNPAVED AREAS, FILL CR-6 OR BRG TO 6" BELOW FINISHED GRADE, PLACED AND COMPACTED IN 6" LIFTS TO 95% MODIFIED PROCTOR. TOP 6" SHALL BE TOPSOIL.

**APPROVAL**

*Richard K. Engel*  
TOWN ENGINEER

**TOWN OF EASTON**  
STANDARD DETAILS  
TRENCH DETAIL

DATE: 1/2020

ISSUED: JANUARY 2020 STANDARD NO.: TOE-R-5.01-1

NOTE: CONTRACTOR SHALL BE MDO SHA MIX NO 3

REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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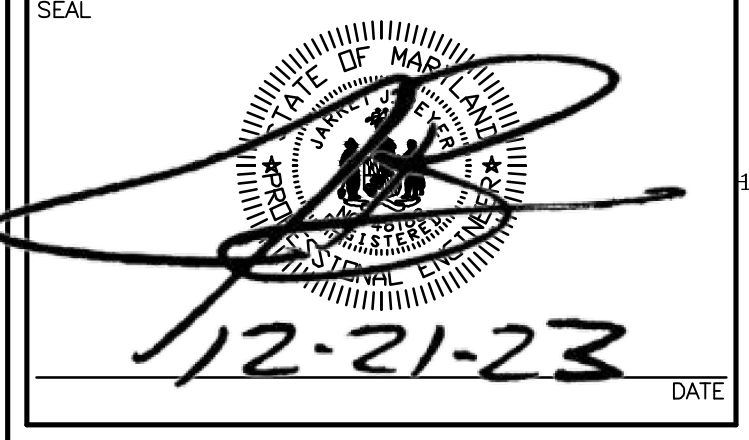
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**Lane Engineering, LLC**  
Established 1986  
Civil Engineers • Land Planning • Land Surveyors

117 Bay St. Easton, MD 21601 (410) 822-8003  
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354 Pennsylvania Ave. Centerville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 48188, Expiration Date: 12/28/2023.



**SITE DETAILS**

FOR  
ST. VINCENT DE PAUL

IN THE TOWN OF EASTON  
TALBOT COUNTY, MARYLAND  
TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR:	DATE:	BY:
ESDR SUBMITTAL	08/01/23 BCE	
PLANNING COMMISSION	08/28/23 BCE	
SITE PLAN REVIEW	12/21/23 BCE	

SHEET No. C-503.1

SCALE: AS NOTED

JOB No. 230215

FILE No. 3248

**LANDSCAPE REQUIREMENTS SUMMARY PER ZONING ORDINANCE:**

- STREET TREES PER 28-1014.6C.1. 1 TREE/70' OF STREET FRONTAGES = 1 TREES REQUIRED
- ON-SITE LANDSCAPE REQUIREMENTS PER 28-1014.6F.
- 1. OVERALL TREES: 1 TREE/3,000 SF DISTURBED AREA (16,398 SF±) = 5 TREES REQUIRED
  - 2.A. PARKING LOT TREES: 1 TREE/10 SPACES (NEW SPACES) = 1 TREES REQUIRED
  - 2.B. PARKING HEDGE: FULLY PLANTED STORMWATER MANAGEMENT AREA SHALL BE UTILIZED
  - 2.C. BUILDING FAÇADE PLANTINGS: 1 TREE/20' FRONT FAÇADE = 3 TREES REQUIRED
  - 2.D. SERVICE LOADING/DUMPSTER SCREENING: AS SHOWN HEREON
  - 2.E. SWM FEATURES: USE TO ENHANCE BUILDING- AS SHOWN HEREON
  - 2.F. BUFFERYARDS: NONE REQUIRED

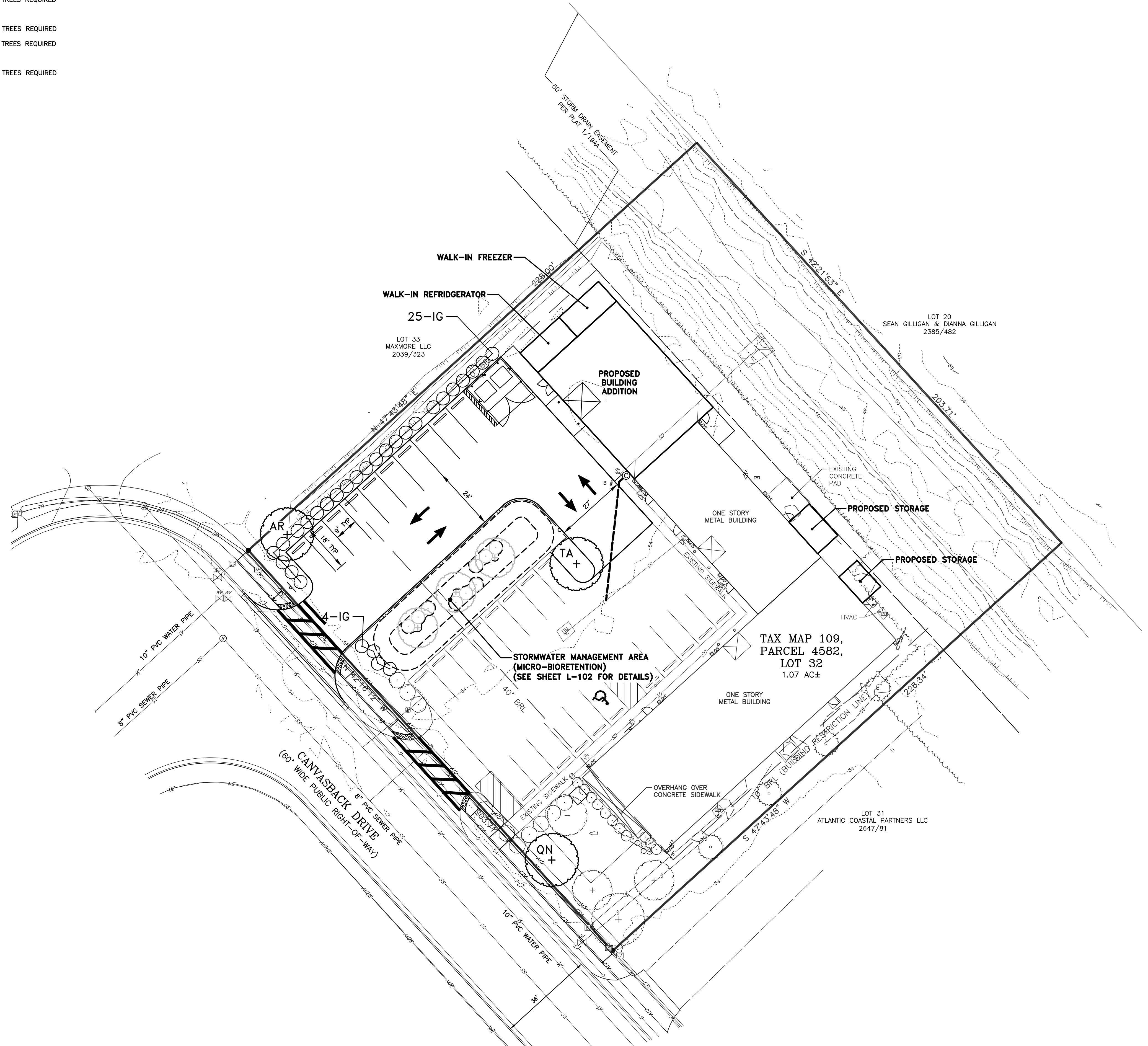
**PLANT LIST THIS SHEET ONLY**

SYM	QUAN	SCIENTIFIC NAME	COMMON NAME	SPECIFICATION
<b>CANOPY TREES</b>				
AR	1	ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2" CAL. MIN
QN	1	QUERCUS NUTTALLII	NUTTALL OAK	2" CAL. MIN
TA	1	TILIA AMERICANA X EUCHLORA	REDMOND LINDEN	2" CAL. MIN
<b>SHRUBS AND GRASSES</b>				
IG	29	ILEX GLABRA 'COMPACTA'	INKBERRY	3 GAL. 5' O/C

**TURF**

ALL AREAS NOT OTHERWISE DEVELOPED, LANDSCAPED OR MULCHED SHALL BE GRASSED. THESE AREAS SHALL BE LIMED AT 1000#/ACRE, AND SEEDED (8#/1000) OR SODDED WITH A TURF TYPE FESCUE BLEND CONTAINING 10% PERENNIAL RYE GRASS. FERTILIZE ALL PLANTED AREAS WITH A "TURF STARTER" FERTILIZER IN ACCORDANCE WITH STATE OF MARYLAND AND LOCAL REQUIREMENTS REGULATING FERTILIZER APPLICATIONS. ALL AREAS SHOWN TO BE "SOD" SHALL BE SODDED; OTHER AREAS NOT SPECIFICALLY SPECIFIED SHALL BE BID AS "SEED" WITH AN ADD-ALTERNATE UNIT PRICE FOR SOD INCLUDED IN THE BID.

NOTE: SEE SHEET L-102 FOR STORMWATER MANAGEMENT PLANTING PLAN & LANDSCAPE SPECIFICATIONS



REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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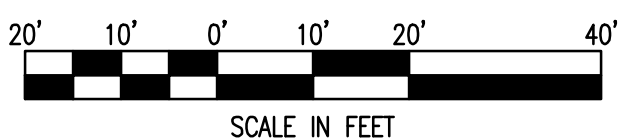
SEAL  
  
 12-21-23 DATE

LANDSCAPE PLAN  
 FOR  
 ST. VINCENT DE PAUL  
 IN THE TOWN OF EASTON  
 TALBOT COUNTY, MARYLAND  
 TAX MAP 109 PARCEL 4582 LOT 32

ISSUED/REVISED FOR:	DATE:	BY:
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SHEET No. <b>L-101</b>	JOB No. 230215
SCALE: <b>AS NOTED</b>	FILE No. 3248

Date: 12/21/2023 - 10:54am User: mjadloch Project Manager: BCE  
 Drawing Path: J:\2023\230215\Civil3D\230215\Draw\Plans\Site Plans\LLP-PLS-230215.dwg | L-101  
 XREF File(s): RSK-BASE-230215\RLD-BASE-230215\LLP-BASE-230215\RSF-BASE-230215\RSF-BASE-230215\RR-BASE-230215\RR-BASE-230215\RR-BASE-230215\RR-BASE-230215\CSP-BASE-230215



NAD 83 (2011)  
 MD COORDINATE SYSTEM

**GENERAL REQUIREMENTS**

COMPLIANCE WITH THE TERMS OF THIS LANDSCAPE PLAN, INCLUDING ALL MAINTENANCE AND WARRANTY REQUIREMENTS PRESCRIBED HEREON IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. MAINTENANCE AND WARRANTY TERMS AND RESPONSIBILITIES OF THE CONTRACTOR SHALL BE AS NEGOTIATED BETWEEN OWNER/DEVELOPER AND CONTRACTOR.

THE CONTRACTOR SHALL DILIGENTLY ATTEMPT TO LOCATE THE SPECIFIED PLANT MATERIAL. IF SPECIFIED PLANT MATERIALS CANNOT BE LOCATED, ALTERNATIVES MAY BE CONSIDERED AND APPROVED, IN ADVANCE, BY THE LANDSCAPE ARCHITECT.

PRIOR TO LANDSCAPE INSTALLATION, THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE LANDSCAPE ARCHITECT TO REVIEW THE PLAN, SITE AND DRAINAGE CONDITIONS AND TO DETERMINE ANY FIELD ADJUSTMENTS NECESSARY.

THE LANDSCAPE ARCHITECT SHALL REJECT ANY AND ALL PLANT MATERIAL THAT DOES NOT MEET SPEC. IS DISEASED OR IS OTHERWISE UNHEALTHY.

**AS-BUILT CONSTRUCTION CERTIFICATION**

THE TOWN OF EASTON REQUIRES THAT THE DESIGN PROFESSIONAL PREPARING THIS LANDSCAPE PLAN CERTIFY THE LANDSCAPE INSTALLATION IS IN COMPLIANCE WITH THE APPROVED PLAN. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY RECOMMENDED OR REQUIRED CHANGES PRIOR TO IMPLEMENTATION SO THEY CAN BE APPROVED AND DOCUMENTED PRIOR TO INSTALLATION. THE OWNER/DEVELOPER SHALL WARRANT THE FINAL AS-BUILT CERTIFICATION.

**LANDSCAPE PLANT MATERIAL AND INSTALLATION SPECIFICATIONS**

**GENERAL:** ALL LANDSCAPE INSTALLATION SHALL BE ACCOMPLISHED WITH QUALIFIED PERSONNEL, UTILIZING INDUSTRY STANDARD PRACTICES AND TECHNIQUES.

THE CONTRACTOR (CONTRACTOR) IS RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL LANDSCAPING SHOWN OR IMPLIED ON THIS PLAN. PLANT QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. PRIOR TO INSTALLATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF PROPOSED SPECIES AND/OR SITE PLANTING CONDITIONS WARRANT RE-DESIGN CONSIDERATIONS.

**PLANT MATERIAL:** ALL PLANT MATERIAL SHALL BE NATIVE TO BE CONSISTENT WITH NATIVE FLORA AND FAUNA AND SHALL CONFORM TO THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. LATEST EDITION. ALL PLANT MATERIAL SHALL BE NURSERY-GROWN WITH SOUND HORTICULTURAL PRACTICES AND UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT, GROWN IN SOIL AND CLIMATIC CONDITIONS SIMILAR TO THIS PROJECT SITE. ALL MATERIAL SHALL EXHIBIT HEALTHY GROWTH WITH GOOD BRANCHING STRUCTURE, DENSE FOLIAGE AND A FIBROUS, DEVELOPED ROOT SYSTEM. ALL MATERIAL SHALL BE FREE OF INSECT INFESTATION AND DISEASE. THE OWNER RESERVES THE RIGHT TO HAVE THE PLANT MATERIAL INSPECTED AND TAGGED AT THE GROWING SITE, AND TO REJECT ANY DEFICIENT MATERIAL AT THE JOB SITE.

**PLANT MATERIAL HANDLING:** ALL PLANT MATERIAL SHALL ARRIVE AT THE JOB SITE IN A HEALTHY CONDITION. CRACKED ROOT BALLS AND OTHER DAMAGED MATERIALS SHALL BE REJECTED AND REPLACED BY CONTRACTOR. THE CONTRACTOR SHALL STAGE DELIVERY AND PLANTING INSTALLATION TO MINIMIZE STRESS ON PLANT MATERIAL. MATERIAL TO BE STAGED ON OR OFF THE JOB SITE SHALL BE LOCATED TO MAXIMIZE PROTECTION FROM HOT SUN AND DRYING WINDS, AND SHALL BE WATERED TO MAINTAIN A STRESS FREE CONDITION. ON-SITE WATER MAY NOT BE AVAILABLE FOR CONTRACTOR USE. THE LACK OF AVAILABLE WATER SHALL NOT RELIEVE THE CONTRACTOR OF ADEQUATE MAINTENANCE.

**THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. COORDINATE WITH OTHER CONTRACTORS ON SITE AND MISS UTILITY TO VERIFY UTILITY LOCATIONS. ANY REPAIRS TO EXISTING UNDERGROUND UTILITIES REQUIRED AS A RESULT OF ACTIONS OF THE CONTRACTOR AND/OR HIS ASSIGNS SHALL BE BORNE BY CONTRACTOR.**

CONTRACTOR SHALL VERIFY THAT FINAL ROUGH GRADES HAVE BEEN ESTABLISHED AND THAT THE SITE IS READY FOR LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL INSURE THAT PLANTINGS HAVE THAT ADEQUATE DRAINAGE. THE CONTRACTOR SHALL INSTALL PLANT MATERIAL FACTORING IN ANY 'FINAL' GRADING WORK TO BE COMPLETED AFTER LANDSCAPE INSTALLATION.

**PLANTING SCHEDULE:** PLANTING SCHEDULES SHALL COINCIDE WITH THE OVERALL PROGRESS OF SITE CONSTRUCTION. CERTAIN PLANT SPECIES REQUIRE SPECIFIC SEASON INSTALLATION AND SHALL BE COORDINATED APPROPRIATELY. PLANTING IS DISCOURAGED IN THE HOT, DRY PERIODS OF SUMMER AND DURING FROZEN GROUND CONDITIONS OF WINTER, BUT MAY BE CONSIDERED YEAR-ROUND WITH MAINTENANCE REQUIREMENTS ADDRESSED ACCORDINGLY. THE CONTRACTOR IS RESPONSIBLE FOR PLANT MATERIAL HEALTH AND VIGOR REGARDLESS OF WHEN THE MATERIAL IS INSTALLED. RECOMMENDED PLANTING TIMEFRAMES:

- BALL & BURLAP STOCK – OCTOBER 15 THRU APRIL 15
- CONTAINER STOCK – YEAR – ROUND WITH ADEQUATE WATER
- BARE – ROOT TREES/SHRUBS – NOVEMBER 15 THRU APRIL 15
- TURF – SEED AUGUST 15 THRU NOVEMBER 1, MARCH 1 THRU APRIL 15.
- TURF – SOD INSTALLATION OCTOBER 15 THRU MARCH 15, BALANCE OF YEAR WITH ADEQUATE IRRIGATION.

**PLANTING BED/PIT PREPARATION:** CONTRACTOR SHALL LAYOUT BEDS AND POSITION PLANTS FOR APPROVAL BY LANDSCAPE ARCHITECT. REVIEW ANY SIGNIFICANT FIELD ADJUSTMENTS PRIOR TO INSTALLATION. ALL BED AREAS SHALL BE TREATED WITH HERBICIDE TO KILL WEED OR GRASS VEGETATION.

ALL TREE PITS AND INDIVIDUAL SHRUB PLANTING PITS SHALL BE EXCAVATED TO A DEPTH SO THAT THE PLANT ROOT FLARE SHALL LIE AT THE FINISHED GRADE SURROUNDING THE PLANT OR PLANTINGS. REMOVE SOIL THAT MAY HAVE BEEN PLACED ON TOP OF ROOT BALL DURING TRANSPORT TO ADEQUATELY EXPOSE ROOT FLARE SO PROPER PLANTING DEPTH CAN BE ESTABLISHED. THE ROOT BALL SHALL REST ON UNDISTURBED OR STABILIZED SOIL. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THIS PLANTING DEPTH SPECIFICATION CANNOT BE IMPLEMENTED. TREE PLANTING PITS SHALL BE EXCAVATED TO A WIDTH EQUALING TWICE THE ROOT BALL DIAMETER. TREE PITS ON SLOPED AREAS SHALL BE EXCAVATED TO THE PROPER DEPTH BASED ON THE UPHILL SIDE OF THE SLOPE. SHRUB/PERENNIAL AND MASS PLANTING BEDS SHALL BE WORKED OR EXCAVATED TO THE DEPTH OF THE ROOT BALL PROVIDING FOR THE ROOT BALL TO REST ON UNDISTURBED SOIL. EXCAVATED SOILS NOT PREVIOUSLY COMPACTED OR OTHERWISE DEGRADED SHALL BE RE-USED FOR PLANTING PIT BACKFILL. EXCAVATED SOILS UNSUITED FOR BACKFILL SHALL BE AMENDED WITH FRIABLE TOPSOIL TO CREATE A SUITABLE PLANTING SOIL AS APPROVED BY THE LANDSCAPE ARCHITECT. EXCAVATED SOILS THAT CANNOT BE RESTORED TO A REASONABLE PLANTING SOIL SHALL BE REMOVED AND REPLACED WITH A FRIABLE, TOPSOIL/SUB SOIL PLANTING MIX TYPICAL OF THE REGION. **NOTE- FOR BIDDING PURPOSES OR UNLESS OTHERWISE SPECIFIED HEREON, THE CONTRACTOR SHALL ASSUME EXCAVATED SOILS ARE SUITABLE FOR PLANTING BACKFILL.**

PLANTING BEDS FOR AZALEAS, RHODODENDRONS, YEW AND OTHER MOISTURE SENSITIVE PLANT MATERIAL SHALL BE MOUNDING AND AMENDED WITH SAND, PEAT OR COMPOST AS NECESSARY TO SUITABLE PLANTING SOIL AND DRAINAGE.

UNLESS SPECIFICALLY DESIGNED FOR STORM WATER MANAGEMENT PURPOSES, ALL PLANTING BEDS ADJACENT TO PAVED AREAS, SHALL BE MOUNDING SO THAT PAVING RUNOFF DOES NOT DIRECTLY DUMP OR SHEET FLOW INTO PLANTING AREAS. PROVIDE BREAKS IN THE MULCH WHERE CONTINUOUS PLANTING BEDS MAY IMPEDE DRAINAGE PATTERNS.

TURF AREAS SHALL RECEIVE 4" MINIMUM TOPSOIL STOCKPILED FROM SITE, OR IF UNAVAILABLE, SUPPLIED FROM LOCAL SOURCES WITH SIMILAR CHARACTERISTICS TO THE NATIVE TOPSOIL OF THE SITE. ALL LAWN AREAS SHALL BE WORKED TO A DEPTH OF 4".

CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION (IF APPLICABLE TO THIS PROJECT) TO INSURE THAT PRELIMINARY IRRIGATION WORK IS COMPLETED OR COORDINATED WITH PLANTING EFFORTS.

**PLANT INSTALLATION:** REMOVE BURLAP AND OTHER ROOT BALL COVERING TO THE EXTENT POSSIBLE- AT A MINIMUM THE UPPER 1/2 OF ROOT BALL WRAP SHALL BE REMOVED, CUT AND REMOVE AT LEAST THE TOP 1/3 OF WIRE BASKETS AND ALL ROOT BALL BINDINGS, STRING TIES, STRAPPING, LABELS, ETC. FROM THE PLANT MATERIAL. CUT OR SCARIFY THE SIDES OF CONTAINER-GROWN STOCK TO ELIMINATE BOUND ROOTS AND PROMOTE HEALTHY ROOT GROWTH.

PLANTS SHALL BE INSTALLED VERTICALLY AND PLUMB. PLANT PITS SHALL BE BACKFILLED AND COMPACTED. ALL PLANTS SHALL BE WATERED DURING PLANTING TO MINIMIZE AIR POCKETS AND TO INSURE SOIL CONTACT WITH ROOTS. LET PLANT PITS SETTLE, AND ADD SOIL TO FILL VOIDS PRIOR TO MULCHING. WHERE PLANTINGS ARE NOT IRRIGATED, UTILIZE EXCAVATED SOIL TO FORM A WATERING COLLAR AROUND THE TREE OR SHRUB AT THE PERIMETER OF THE ROOT BALL. FEATHER SOIL GRADES AROUND PLANTINGS TO BLEND WITH SURROUNDING LANDSCAPE OR TURF AREAS. EXCESS EXCAVATED SOIL SHALL BE REMOVED FROM JOB SITE.

DECIDUOUS TREES OVER 2" CALIPER AND EVERGREEN TREES OVER 7" HEIGHT (UNLESS OTHERWISE WAIVED BY THE LANDSCAPE ARCHITECT), SHALL BE STAKED AND GUYED WITH MINIMUM 2" x 2" x 6" HARDWOOD STAKES PLACED IN STABLE SOILS. GUY TREES TO STAKES WITH PROTECTIVE MATERIALS TYPICALLY UTILIZED IN THE INDUSTRY.

ALL PLANTING BEDS AND PITS NOT OTHERWISE CONTAINED WITH HARD EDGING SHALL BE EDGED WITH A 3" DEEP "Y" TRENCH. ALL PLANTS AND BEDS, UNLESS OTHERWISE NOTED HEREON SHALL BE MULCHED TO A 2" DEPTH WITH DOUBLE SHREDDED, HARDWOOD BARK MULCH. MULCH SHALL GENERALLY EXTEND TO THE EDGE OF PAVING OR BUILDINGS, OR BACK OF CURB. IN OPEN AREAS ADJACENT TO TURF OR NATURALIZED AREAS, MULCH SHALL EXTEND A MINIMUM OF 2.5' BEYOND THE TRUNK FOR TREES AND 1.0' BEYOND THE EDGE OF SHRUB FOLIAGE, UNLESS OTHERWISE SPECIFICALLY DIRECTED HEREON, SHAPE THE MULCH-BED EDGE CONDUCTIVE TO EASE OF MOWING OR MAINTENANCE OF THE ADJOINING AREA. DO NOT PLACE OR MOUND MULCH AGAINST THE TRUNK OR FOLIAGE OF PLANTS.

THE CONTRACTOR SHALL MAINTAIN A CLEAN JOB SITE AND REMOVE ALL PLANTING AND SUPPLY DEBRIS DAILY DURING THE COURSE OF IMPLEMENTATION.

**TREE-WATERING DEVICES:** TREE GATOR BAGS REQUIRED ON ALL TREES UNLESS IRRIGATION OTHERWISE PROVIDED.

**MAINTENANCE**

**DURING CONSTRUCTION PERIOD:** THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL THROUGH JOB COMPLETION AND FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE WATERED, WEEDED, MULCHED, PRUNED AND TREATED FOR INSECT DAMAGE, FUNGUS OR DISEASE TO INSURE HEALTHY GROWING CONDITIONS. WATERING SHALL PROVIDE ADEQUATE MOISTURE TO SUPPORT VIGOROUS GROWTH. TYPICALLY, ALL TREES SHOULD RECEIVE 1" OR APPROXIMATELY 5-10 GALLONS OF WATER PER WEEK. PLANTS IN HEAVIER SOILS SHALL BE MONITORED TO AVOID OVER-WATERING. GATOR BAGS, WATERING TRAYS, IRRIGATION, HAND WATERING, OR OTHER INDUSTRY STANDARD TECHNIQUES SHALL BE EMPLOYED TO MAINTAIN ADEQUATE MOISTURE SUPPLY TO THE PLANT MATERIAL. INSTRUCT OWNER REGARDING REQUIRED AND PROPER ON-GOING MAINTENANCE OF LANDSCAPE INSTALLATION.

**DURING WARRANTY PERIOD:** THE CONTRACTOR SHALL VISIT THE SITE PERIODICALLY TO ADVISE OWNER OF ANY DEFICIENT CONDITIONS AFFECTING PLANT SURVIVABILITY, ADJUST STAKING AND GUYING PERIODICALLY AND REMOVE AFTER FIRST FULL GROWING SEASON, OR SOONER IF PLANT IS STABLE. REPLACE DEAD OR DYING PLANT MATERIAL.

**LANDSCAPE WARRANTIES**

THE OWNER/DEVELOPER SHALL WARRANT ALL LANDSCAPE INSTALLATIONS TWO (2) YEARS FROM DATE OF NOTICE OF SUBSTANTIAL COMPLETION. UNLESS OTHERWISE SPECIFIED IN AN AGREEMENT WITH THE OWNER, THE CONTRACTOR SHALL WARRANT ALL INSTALLATION FOR ONE (1) YEAR FROM THE DATE OF NOTICE OF SUBSTANTIAL COMPLETION. DURING THE WARRANTY PERIOD, DEFICIENT PLANT MATERIALS SHALL BE REPLACED AS SOON AS POSSIBLE AND WARRANTED THROUGH THE REMAINDER OF THE WARRANTY PERIOD. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR WARRANTING THE WORK AGAINST LACK OF OWNER MAINTENANCE AFTER CONTRACTORS MAINTENANCE RESPONSIBILITIES END, OR FROM VANDALISM, EXTREME HURRICANE/FLOODING EVENTS OR OTHER EXTREME EVENTS BEYOND THE NORMAL, PRACTICAL AND REASONABLE CONTROL OF THE CONTRACTOR. THE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR A ONE (1) TIME REPLACEMENT OF DEAD OR DEFICIENT PLANT MATERIAL.

**PLANT LIST THIS SHEET ONLY**

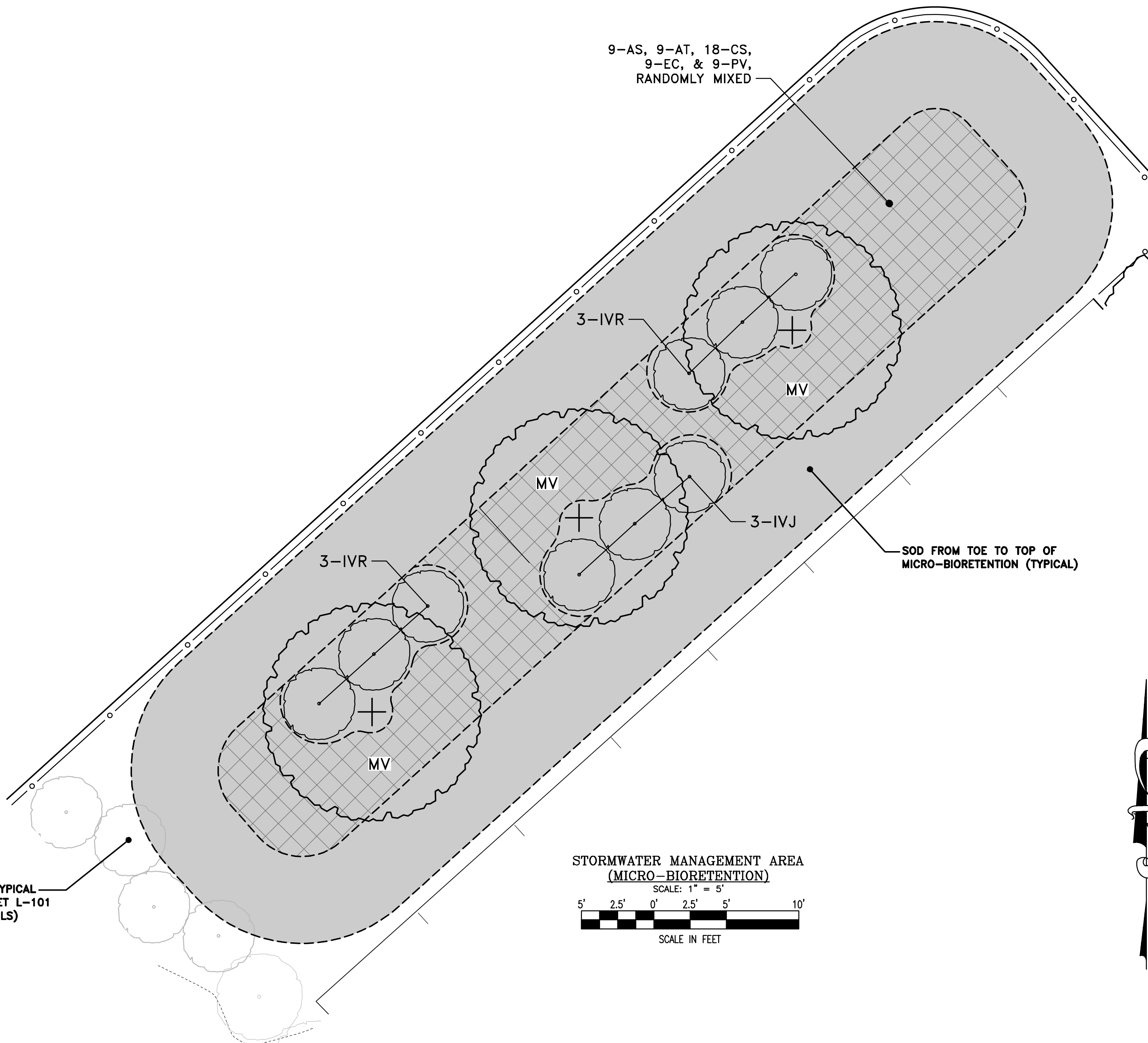
SYM	QUAN	SCIENTIFIC NAME	COMMON NAME	SPECIFICATION
<b>MICRO-BIORETENTION AREA</b>				
<b>FLOWERING / UNDERSTORY TREES</b>				
MV	3	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	7' HGT.
<b>SHRUBS AND GRASSES</b>				
IVR	6	ILEX VERTICILLATA 'RED SPRITE'	WINTERBERRY HOLLY	24" HGT, MIN. 4' O/C
IVJ	3	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY HOLLY	24" HGT, MIN. 5' O/C
<b>HERBACEOUS PERENNIALS</b>				
AS	9	ASCLEPIAS SYRIACA	COMMON MILKWEED	QUART, 3' O/C
AT	9	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	QUART, 3' O/C
CS	18	CAREX STRICTA	TUSSOCK SEDGE	QUART, 3' O/C
EC	9	EUPATORIUM COELESTINUM	MISTFLOWER	QUART, 3' O/C
PV	9	PANICUM VIRGATUM	SWITCH GRASS	QUART, 3' O/C

**TURF/SOD AREAS**

ALL UNDEVELOPED AREAS NOT OTHERWISE DEVELOPED, LANDSCAPED OR MULCHED SHALL BE GRASSED. THESE AREAS SHALL BE LIMED AT 1000#/ACRE, AND SEEDED (8#/1000) OR SODDED WITH A TURF TYPE FESCUE BLEND CONTAINING 10% PERENNIAL RYE GRASS. FERTILIZE ALL PLANTED AREAS WITH A "TURF-STARTER" FERTILIZER IN ACCORDANCE WITH STATE OF MARYLAND AND LOCAL REQUIREMENTS REGULATING FERTILIZER APPLICATIONS. ALL AREAS SHOWN TO BE "SOD" SHALL BE SODDED; OTHER AREAS NOT SPECIFICALLY SPECIFIED SHALL BE BID AS "SEEDED" WITH AN ADD-ALTERNATE UNIT PRICE FOR SOD INCLUDED IN THE BID.

-  SOD TO BE PLACED FROM TOP OF BANK TO FLOOR OF STORMWATER MANAGEMENT FEATURES
-  PROPOSED PLANTINGS FOR MICRO-BIORETENTION & BIOSWALE FLOOR AREA

NOTE: SEE SHEET L-101 FOR OVERALL LANDSCAPE PLAN



9-AS, 9-AT, 18-CS,  
9-EC, & 9-PV,  
RANDOMLY MIXED

SOD FROM TOE TO TOP OF  
MICRO-BIORETENTION (TYPICAL)

SHRUBS TYPICAL  
(SEE SHEET L-101  
FOR DETAILS)


STORMWATER MANAGEMENT AREA  
(MICRO-BIORETENTION)  
SCALE: 1" = 5'  
5' 2.5' 0' 2.5' 5' 10'  
SCALE IN FEET

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SEAL



12-21-23 DATE

**STORMWATER PLANTING PLAN & PLANTING SPECIFICATIONS**

FOR  
**ST. VINCENT DE PAUL**

IN THE TOWN OF EASTON  
TALBOT COUNTY, MARYLAND  
TAX MAP 109 PARCEL 4582 LOT 32

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SHEET No. <b>L-102</b>	JOB No. <b>230215</b>
SCALE: <b>AS NOTED</b>	FILE No. <b>3248</b>

Date: 12/21/2023 10:54am User: mtgloich Project: Manager: BCE  
Drawing Path: J:\2023\20230215 (Dwa)\Plots\Site Plans\LTP-PLTS-230215.dwg | L-102  
XREF File(s): RSK-Base-230215/RD-BASE-230215/RR-BASE-230215/RRF-BASE-230215/LLP-BASE-230215/RR-BASE-230215/RR-BASE-230215/RP-BASE-230215/LLP-BASE-230215/RR-BASE-230215/CSP-BASE-230215